



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, July 19, 2022
Immediately following 7:30pm Budget Work Session
CITY HALL**

1. Meeting Opening

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

2. Meeting Minutes

- A. Approval of Minutes from the June 21, 2022 Planning Commission Meeting

3. Public Hearing

- A. Request by Marcus Construction for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Dairy Queen restaurant with a drive-thru and an outdoor patio area located in the B-2 General Business District and Highway 65 Overlay District at 280 5th Ave NE
- B. Request by resident, Thomas Bowen, for amendment to City Ordinance 445, Section 6, Articles 1,2,3,4,5 and 6 under "Special Regulations". Said request is to include metal as an acceptable roofing material in all Residential Zoning Districts.

4. Other Business

5. Discussion Items

6. Adjournment

CITY OF ISANTI**PLANNING COMMISSION MEETING****TUESDAY, June 21, 2022**

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:45 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Arissya Simon
Members Absent: Alexander Collins, Dan Collison
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 5-0.

2. Meeting Minutes

- A. Approval of Minutes from the May 17, 2022 Special Planning Commission Meeting and the May 17, 2022 Planning Commission Meeting, motion by Lundeen, second by Bergley, motion passes 5-0.

4. Public Hearing

- A. Request by RK Unlimited Properties, LLC for Site Plan Approval under City Ordinance 445, Section 18, said request is for a manufacturing facility located in the I-1 Industrial Park District at 605 E Dual Blvd NE for Unlimited Welding.

Saltis presented the request for Site Plan Approval for an Industrial Building for RK Unlimited Welding. The applicants representing RK Unlimited Welding were present at the meeting and available for questions from the Planning Commission. The Planning Commission asked the applicant where the business is currently located and how many employees they intend on hiring. The applicants said that they are currently located in Ham Lake and intend on hiring about 10-15 employees at the proposed facility. There was no one else from the public present to speak on this item and the public hearing closed. Motion for approval of the site plans was made by Lundeen and seconded by Simon, motion passed 5-0.

- B. Request by State Storage Shafer, LLC for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Self-Storage Facility located in the I-1 Industrial Park District at 501 W Dual Blvd NE.

Saltis presented the request for a Conditional Use Permit and Site Plan Approval for Gopher State Storage. It was explained that the Conditional Use Permit is needed for a self-storage facility in the I-1 Industrial Park Zoning District. The applicant, John Henry of State Storage Group was present at the meeting and available for questions from the Planning Commission. The applicant explained the locations of other storage facilities that the group owns and the reputation that they have built around the area. The applicant mentioned a few modifications to the plans submitted regarding the storage unit location along the railroad tracks and the stormwater pond soils. Staff requested that these be submitted for their review. There was no one else from the public present to speak on this item. Motion was made to approve the Conditional Use Permit and Site Plans by Lundeen seconded by Bergley, motion passed 5-0.

5. **Other Business:** None
6. **Discussion Items:** None
7. **Adjournment:** Motion by Lundeen, 2nd by Bergley to adjourn, motion passed 5-0, meeting adjourned at 8:09 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: July 19, 2022

SUBJECT: Site Plan Review and CUP Approval for a Dairy Queen building with a drive-thru and outdoor patio area located at 280 5th Ave NE

Request: The applicant, Marcus Construction is requesting site plan and CUP approval for a proposed building with a drive thru and outdoor patio area located at 280 5th Ave NE for a Dairy Queen restaurant.

Overview/Background: The applicant would like to construct a building on a 1.1-acre vacant lot located just south of the Allina Clinic. This parcel is currently zoned B-2 General Business and is also within the Highway 65 Corridor Overlay District. A “Restaurant”, “Drive-Thru” and “Outdoor Patio” are all Conditional Uses in the B-2 General Business District.

The building is proposed to be 3,225 square feet and will consist of an indoor dining area, two kitchen spaces, bathrooms, an office and a breakroom. An outdoor patio of roughly 750 square feet is proposed for use during seasons that would allow for customers to sit outside. The site is designed to accommodate twelve cars stacked in the drive-thru area, with a designated bypass lane running parallel to the drive-thru lane. There will be two drive-thru ordering lanes that will merge into one after ordering. Thirty-three parking stalls are displayed on the site plans, with twenty-four standard parking stalls, 3 bus parking stalls, 2 curbside pickup stalls, two drive-thru wait stalls and two handicap accessible stalls.

Analysis of Application: The site plan for the building shall comply with the following requirements for both the B-2 General Business District and the Highway 65 Corridor Overlay District:

Lot Requirements

- Lot Size 1 acre
- Minimum Building Size 15% of lot size

The area of the parcel is roughly 48,000 square feet or 1.1 acres in size. The proposed building on site is about 3,225 square feet and will not meet the minimum building size requirement (15%

of lot size) in the Highway 65 Overlay District. The area of the proposed building will be 6.7% of the total lot size. According to Subdivision 10 of the Highway 65 Overlay District, dimensional flexibility is allowed. The City Council may approve modifications of one or more area or dimensional standards of an underlying district if an applicant demonstrates such modification will result in better integration of uses or additional public amenities that will further the intent of the district. The proposed dimensions allow for the required parking and drive-lanes resulting in better integration of the site plans for the district.

Setbacks and Height Restrictions – Principal Building

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Street Side Yard Setback 20 feet
- Rear Yard Setback 15 feet
- Highway 65 Setback 100 feet
- Maximum Building Height 3 Stories or 45 ft, whichever is less

The proposed building will be located roughly in the middle of the lot and will meet all required setbacks. The building will be single story and will not exceed the 45 ft height requirement.

Impervious Surface Coverage

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter. (Ord. No. 618)

The proposed development intends on having 73% impervious surface on site. The landscaping requirement of 25% of the total lot area as green space will be met.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

Number of Required Parking Spaces

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

Commercial Uses

- | | |
|-----------------------------------|---|
| Fast food, drive-thru restaurants | 1 space for every 3 seats and 1 space for every employee on the peak shift, plus stacking space for 6 vehicles per service lane |
|-----------------------------------|---|

Based on this number of required parking spaces standard and the use of the commercial building, the site will have a sufficient amount of parking stalls on site. The site plans indicate 33 parking stalls total, in which twenty-four are standard parking stalls, three are bus parking stalls, two are curbside pickup stalls, two are drive-thru wait stalls and two are handicap accessible stalls. The site plans meet the required number of parking spaces for the development.

Stall, Aisle and Driveway Design

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.
- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet
75 degrees	9 feet	9 feet	20 feet	23 feet	24 feet
60 degrees	9 feet	10 feet	22 feet	18 feet	24 feet
45 degrees	9 feet	12 feet	25 feet	13 feet	24 feet

The site features both 90-degree parking and 45-degree parking stalls and will follow the required stall dimensions of 9 feet in width and 19 feet in length. The 45 degree-parking stalls will be lengthened to 22 ft. The drive aisle widths are proposed at 26 feet and meet the requirement for one-way vehicle circulation.

Handicapped Parking Requirements

The number of handicapped parking stalls required shall be in accordance with the following table:

Total Number of Parking Spaces in Lot	Required Minimum Number of Accessible Spaces
1 to 25	1

- A. Each designated handicapped space shall be eight (8) feet in width with an adjacent five (5) foot wide access aisle. Total space width of thirteen (13) feet.
- B. A designated van accessible space shall be eight (8) feet in width with an adjacent access aisle totaling eight (8) feet in width. Total space width of sixteen (16) feet.
- C. Designated handicapped spaces shall be provided along an accessible route located as near as possible to an accessible entrance.

- D. Each space shall contain signage with the international symbol of accessibility. Indicating that a permit is required and notifying of a two hundred (200) dollar maximum fine for violation.

The two designated handicapped stalls are proposed at 9 ft in width and will have a 9 ft wide access aisle in between the two stalls. The handicap stalls are located near the building and will have an accessible sidewalk with a curb ramp in the access aisle. Accessible parking signs are proposed in front of both handicap parking stalls.

Bicycle Parking

Bicycle parking is required for all new construction commercial developments in the city and is determined by the number of required car parking stalls. Since this site will have more than 20 parking stalls, the development is required to include at least 2 bike parking spaces. Bicycle parking is not indicated on submitted plans and will be a condition of approval for the site. City staff will review the location of the bike racks and proximity to the building in accordance with the standards set in Section 17, Subdivision 14 of the City's Zoning Ordinances.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and drive-thru lanes are proposed to be surfaced with light and heavy-duty bituminous pavement. Drive aprons around the site entrances, sidewalks and the outdoor seating patio will be surfaced with concrete.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
 1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:

- a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
- b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

A photometrics plan was submitted with foot candle readings and lighting types used on the site. Based on the foot candle readings on the photometrics plan these light sources will meet most criteria listed in Section 14 of the City Zoning Ordinance. Some foot candle readings exceed the maximum 5 ft candles measured at a non-residential property line, but is not foreseen to impact the surrounding areas in which the light projects. Seven total downlit light poles are proposed to be placed around the parking areas and curbing.

Visibility

No sign shall be so located as to restrict the sight, orderly operation, and traffic movement within any parking area.

There is proposed signage near the south curb cut near 5th Ave NE. It is not expected that this proposed location of this sign would cause visibility issues for traffic movement since it is directionally a one-way street with vehicles entering the site from 5th Ave NE.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around all parking areas and the drive-thru/by-pass lanes.

Striping

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) wide.

Four-inch-wide yellow striping will be used across the site for designated parking stalls.

Curb Cuts

The curb cuts proposed along 5th Avenue NE are 26 feet in width and comply with City Standards.

Exterior Building Materials

These standards are intended to ensure coordinated design of building exteriors, additions and accessory structure exteriors in order to prevent visual disharmony, minimize adverse impacts on adjacent properties from buildings which are or may become unsightly, and buildings that detract from the character and appearance of the area. It is not the intent of this division of unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, and site characteristics.

A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:

1. Face brick.
2. Natural stone.
3. Glass.
4. Decorative concrete block as approved by the City Council.
5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
6. Masonry stucco.
7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
8. No more than 75% of the building sides visible from Highway 65 may be constructed of decorative concrete block, pre-cast concrete or stucco.
9. The exterior of the building shall have varied and interesting detailing. Large unadorned walls shall be prohibited (50' or more). All large walls viewable from Highway 65 must be relieved by architectural detailing, such as change in materials, change in color, offsets, or other significant visual relief provided in a manner or at intervals in keeping with the size, mass and scale of the wall and its views from the public right-of-way.

10. Exterior building material colors shall be complimentary of other buildings within the district.
11. Exterior elevations of all sides of a proposed building noting the material and color of each component, to include exterior building materials, awnings, mechanical screening material, fencing and the like, shall be submitted with the site plan for determination of compliance with the above requirements.
12. Mechanical equipment
 - a. Ground equipment shall be screened per Section 14, Subdivision 4 Mechanical Equipment.
 - b. Rooftop mechanical equipment, and head-houses for elevators and stairs, shall be concealed from public view.

B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

Exterior building materials include EIFS Stucco and metal panels in various colors. EIFS panels will be mostly neutral in color, with accent panels of the restaurants signature colors of orange, blue and maroon. Exterior building material colors in the Highway 65 District are to be complimentary of other buildings within the district; the blue and orange siding colors do not specifically match any surrounding buildings in the district but could be acceptable with flexibility and approval from the Planning Commission and City Council. Flexibility has been given for businesses in this district to keep their signature look so that it is recognizable. The exterior of the building has varied detailing with materials, colors and textures on all sides and is architecturally appealing.

Screening, and Landscaping

A. Fencing and Screening. Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

Mechanical equipment is not displayed on site plans. If any outdoor mechanical equipment is proposed, the location must be reviewed by City Staff for the location and screening from surrounding properties.

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

There are no loading and service areas displayed on site plans. A building of this size does not require a designated loading area.

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

The site does not abut a residential area.

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

The refuse and garbage receptacle will be completely screened from 5th Ave NE architecturally with a painted fence.

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

The site does not surround a residential area.

- B. **Landscaping.** The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

A landscaping plan was not submitted with the application. A landscaping plan will need to be submitted to City Staff to review tree and planting locations, types and number of trees. The landscaping plan shall meet all landscaping criteria listed in Section 15 of the City's Zoning Ordinances. The City Landscaping Ordinance requires that the site have at least 8 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage).

Building Orientation

Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front).

The building orientation is proposed to have the south elevation as the main storefront/entrance and will also have the east elevation as an entrance for the patio area. The east elevation of the building will face Highway 65 and have signage similar in appearance to the front of the restaurant.

Outdoor Seating

Food service businesses, including, but not limited to, bakeries, delicatessens, coffee shops, and restaurants, may provide temporary outdoor seating as an accessory use for their patrons, provided the following requirements are met:

- A. An administrative permit shall be reviewed and approved by the City Planner or his/her designee. If the proposed outdoor seating area abuts a residential district, then a Conditional Use Permit is required.

An administrative permit will not be needed for the outdoor seating area, as a CUP has been applied for and is being reviewed as part of this submittal.

- B. Seating and furniture shall enhance the appearance of the business.
Outdoor seating arrangements will enhance the appearance of the restaurant. Renderings of the outdoor patio area show Adirondack chairs and a fireplace, creating an environment that is consistent with the area and surrounding businesses.
- C. Seating areas shall be located in a controlled or cordoned area with at least one (1) opening to an acceptable pedestrian walk. When a liquor license is involved, an enclosure is required and the enclosure shall not be interrupted. Access to such area shall be through the principal building only. Signage shall be displayed that restricts the consumption of alcohol outside of the designated outdoor seating area.
The outdoor seating area will be accessible by an ADA accessible sidewalk from the parking area. The business will not serve alcoholic beverages and will not have to be completely closed off with the only access being from the inside of the building.
- D. Seating shall be located and designed so as not to interfere with pedestrian and vehicular circulation.
The seating area will be positioned on the east side of the building and will not interfere with traffic or pedestrian circulation. The patio area will be in between the building and drive-thru lanes.
- E. Seating areas shall be equipped with trash receptacles and shall be periodically reviewed for litter pick up.
A trash receptacle is not labeled on site plans but will need to be included for the seating area.
- F. Seating areas shall not have loud speakers or audio equipment that is audible from adjacent property lines. All exterior sound equipment shall be shut off by ten (10) o'clock p.m.
Audio for the seating area is unknown but is not expected that it will be audible from adjacent property lines or played past 10 p.m.
- G. Lighting shall be permitted to the extent that it only illuminates the designated seating area.
Downlit lights are provided according to exterior elevations and will not exceed 1 foot candle around this area according to photometrics plans.
- H. Seating areas shall not obstruct required accesses, entrances, and exits into the business establishment; but shall be located adjacent to the principal use.

The seating area will be separate from the main entrance and will be accessible by a side door on the east side of the building. There will not be obstructed accesses, entrances or exits as a result of the outdoor seating area.

- I. Seating shall not be located in such a manner as to obstruct parking spaces. No additional parking is required for thirty (30) seats or less. Any additional seating over thirty (30) seats shall provide required parking based on one (1) space per three (3) seats.

The seating layout on site plans show less than 30 seats occupying the outdoor patio space. Additional parking for the outdoor seating area will not be required.

- J. Any proposed outdoor seating plan over fifty (50) seats shall be reviewed as a Conditional Use Permit.

The outdoor patio will have less than 50 seats.

Refuse and Trash Receptacle Enclosures

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.
 - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash enclosure is proposed to be located on the northwest corner of the site and will be screened architecturally from 5th Ave NE and the surrounding property to the north. The colors of the enclosure are consistent with the principal building on site. The trash enclosure is proposed to be illuminated with a light pole to the east for safety of employees.

Mechanical Equipment

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building and shall be provided in accordance with the regulations as provided within Section 15, Subdivision 3 of this Ordinance.

Mechanical equipment is not displayed on site plans. If any exterior mechanical equipment is proposed, it shall be labeled on the site plans and reviewed for location and screening.

Drive-Thru Facilities

Permitted by a Conditional Use Permit only as an accessory use to a business or restaurant providing the following requirements are met:

- A. No drive-thru window shall be adjacent to a public street.

The proposed drive-thru windows will be located on the north side of the building and will not be directly adjacent to a public street.

- B. Drive-thru facilities shall be limited to one (1) service window which is part of the principal structure and not more than two queuing lanes, unless approved along with additional landscaping, screening, or other pedestrian amenities such as fencing, seating, raised pedestrian crossings, etc.

The exterior building elevations display three drive-thru windows and two designated queuing lanes, with a bypass lane running parallel to the drive thru lane on the north side of the building. Staff believes that having more than one drive-thru window will speed up the drive-thru process and allow the business to have separate stations for money collection and food handling.

- C. There shall not be any additional curb cuts on a public right-of-way exclusively for the use of drive-thru queuing or exit lanes. Drive-thru traffic shall enter and exit from internal circulation drives.

The curb cuts will be located on 5th Ave NE to access and exit the site. These curb cuts will not be used exclusively to enter the drive thru lanes. Traffic will circulate through the parking area to get to the queuing lanes.

- D. Queuing space for at least four (4) cars or seventy (70) feet shall be provided per drive-thru service lane as measured from but, not including the first drive-thru window or teller station.

The drive-thru lanes will be able to accommodate 12 cars, with 2 additional waiting stalls ahead of the drive-thru windows.

- E. Queuing space shall not interfere with parking spaces or traffic circulation with the parking lot or upon the public right-of-way.

Queuing space is located on the east side of the site and will wrap around the building, while the parking stalls are located on the south side of the building. Car piling near the drive-thru lane is not expected to impact vehicles coming in and out of parking stalls. The building will have two queuing lanes and three drive-thru windows to minimize wait times.

- F. Alcoholic beverages shall not be served.

There will be no alcoholic beverages sold on site.

- G. Exterior loud speakers shall be located a minimum of one hundred fifty (150) feet from any parcel containing a residential use and such speakers shall comply with the noise regulations as provided within Isanti City Code of Ordinances.

The site does not border a residential area.

- H. A by-pass lane shall be provided, allowing autos to exit the drive-thru lane from the stacking lane.

A by-pass lane is provided that runs parallel to the drive thru lane, allowing vehicles to exit the drive-thru lane from the stacking lane.

- I. Screening of automobile headlights must be provided. Screening shall be at least three (3) feet in height and fully opaque. Screening shall consist of a wall, fence, dense vegetation, berm or grade change or similar screening as determined to be acceptable by the City Council.

A landscaping plan was not submitted with the application. A landscaping plan will need to be submitted to City Staff to review tree and planting locations, types and number of trees. The landscaping plan shall meet all landscaping criteria listed in Section 15 of the City's Zoning Ordinances.

Signs

The site proposes wall signage on three sides of the building with the DQ logo and two freestanding pylon signs near Highway 65 and 5th Ave NE. These signs will need to follow criteria listed in both the B-2 General Business District as well as the Highway 65 Overlay District. According to the sign regulations found in Section 16 of the City's Zoning Ordinances, each site is allowed only one freestanding sign. The sign package for DQ is proposed to have

one freestanding pylon sign facing Hwy 65 and another pylon sign facing 5th Ave NE. Since the sign package is completed with the submittal of the site plans, the Planning Commission and City Council can make recommendation to allow for two freestanding signs on site. Staff believes that two signs on this lot are reasonable since there are two road frontages. The sign plans show a dynamic sign with an electronic message board. Dynamic signs are permitted in the B-2 and TH 65 Overlay Zoning Districts. Specific regulations shall be followed for a dynamic sign found in Section 16, Subdivision 6 of the City's Zoning Ordinances. Menu boards for the drive thru are not proposed to exceed 60 square feet.

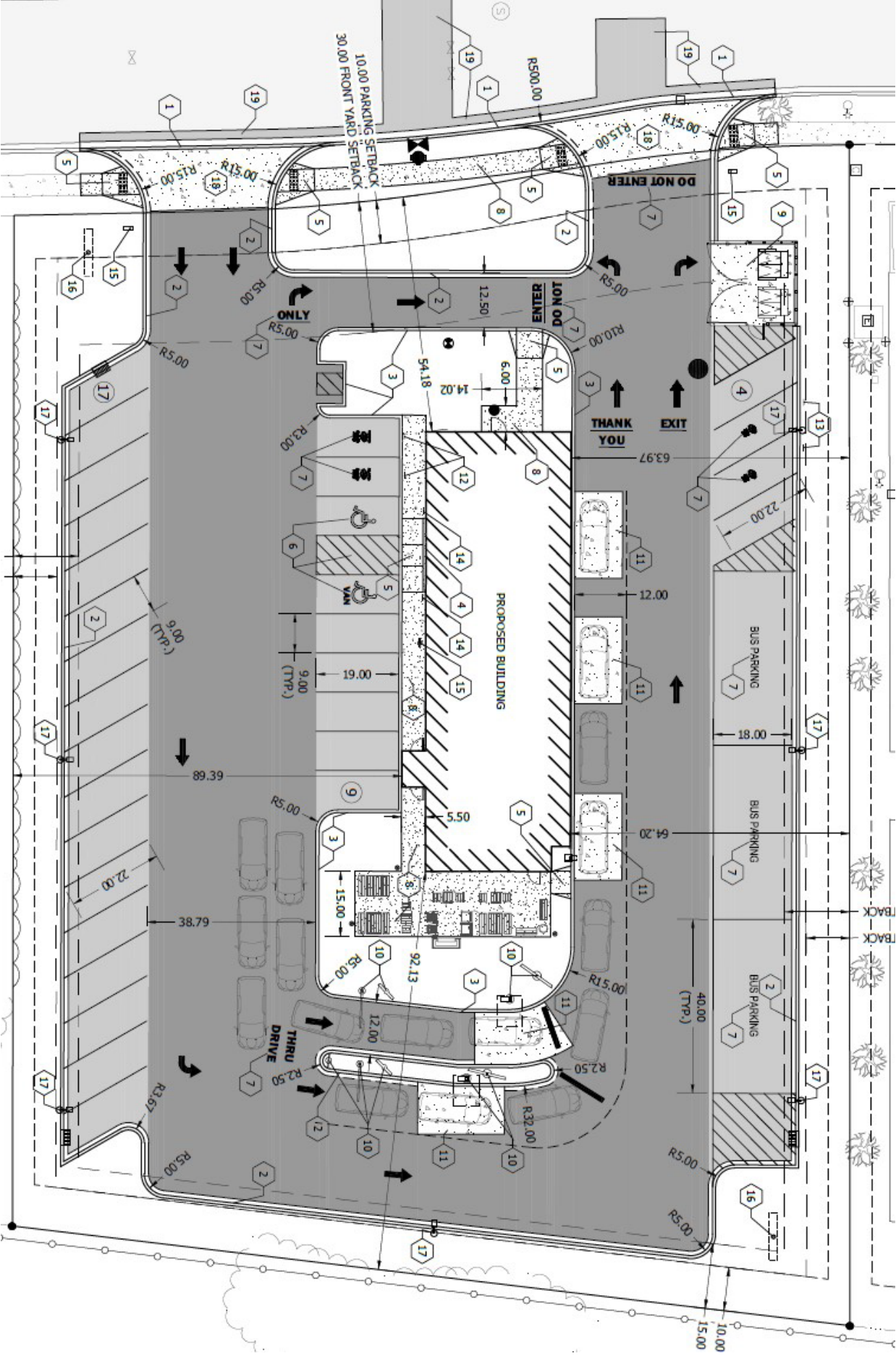
Staff Recommendation: Staff recommends approval of the proposed Dairy Queen building site plans and Conditional Use Permit located at 280 5th Ave NE with the following conditions:

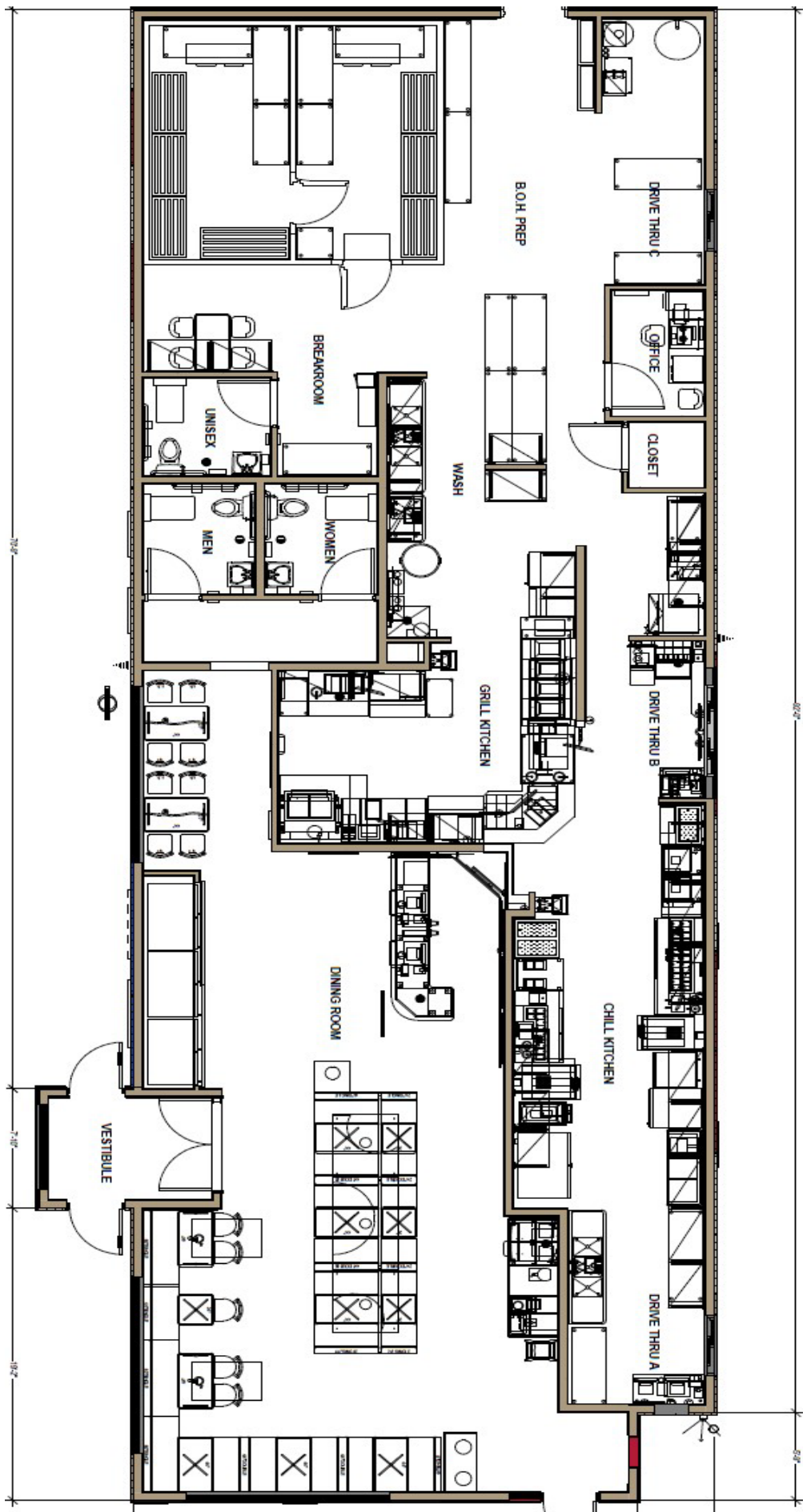
Conditions:

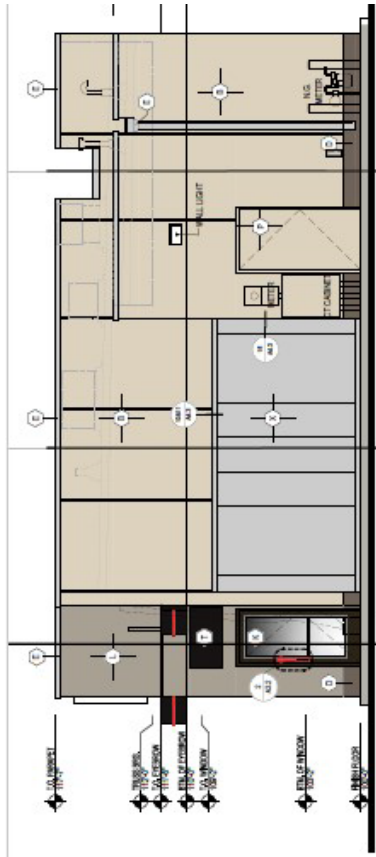
- The site is required to provide at least 2 bike parking stalls in accordance with Section 17, Subd. 14 of Isanti's Zoning Ordinances
- A landscaping plan shall be provided for review by City Staff and shall meet all criteria listed in Section 15 of the City's Zoning Ordinances.
- One freestanding pylon sign is permitted on site, if the applicants would like a second pylon sign near the entrance, it must be approved by the City Council
- If the freestanding sign near 5th Ave NE is approved by the City Council, it must be located at least 10 ft from property lines
- The dynamic sign shall follow regulations found in Section 16, Subdivision 6 of the City's Zoning Ordinances
- A trash receptacle shall be placed within the outdoor seating area
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 7/7/2022.

Attachments:

- Site Plans
- Floor Plans
- Exterior Elevations
- Sign Plans
- Engineer's Memo Dated 7/7/2022
- Fire Chief's Memo

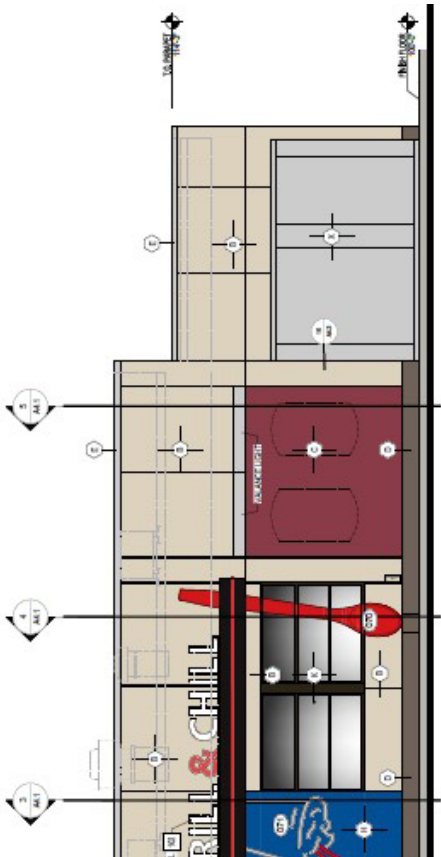






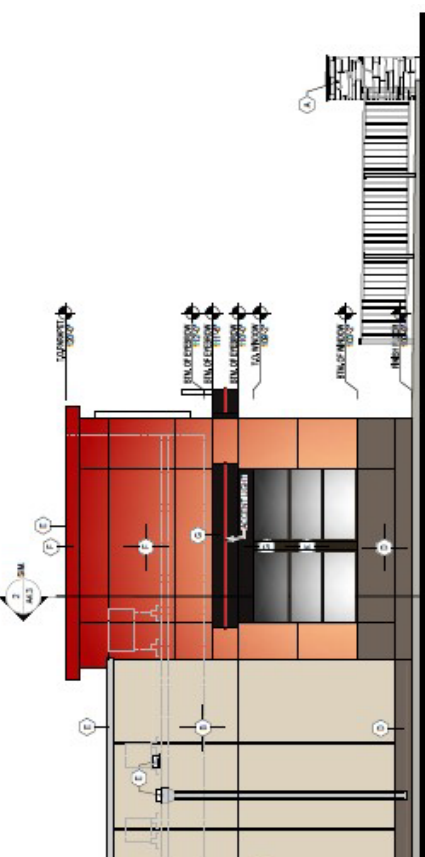
FRONT ELEVATION
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION INDICATES THE SPECIAL INSTALLATION REQUIREMENTS. ALL IM STRENGTHENMENT MUST COVER LOGS & PANEL LOCATION HEIGHTS.



REAR ELEVATION
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION INDICATES THE SPECIAL INSTALLATION REQUIREMENTS. ALL IM STRENGTHENMENT MUST COVER LOGS & PANEL LOCATION HEIGHTS.



ENTRANCE ELEVATION
SCALE 1/4" = 1'-0"

NOTE: THE COLORED PORTION INDICATES THE SPECIAL INSTALLATION REQUIREMENTS. ALL IM STRENGTHENMENT MUST COVER LOGS & PANEL LOCATION HEIGHTS.



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: July 7, 2022
To: Stephanie Hillesheim, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Dairy Queen – Site Plan Review
City of Isanti, MN
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Dairy Queen Grill & Chill” with a signature date of June 24, 2022.

The plan includes the construction of a new building, parking lot and a storm sewer system that connects to a regional pond.

We have reviewed the submitted documents and have the following comments:

1. Sheet C102 Removals Plan:
 - a. Preserve large pines where possible along the south property line.
 - b. Avoid cutting into the drive lanes on 5th Avenue, see comments on hydrant lead below.
 - c. Cut a minimum 2-foot bit patch width along the curb.
2. Sheet C201 Civil Site Plan:
 - a. Use the heavy duty pavement section on 5th Avenue.
 - b. Clarify which “directional sign” will be used at the entrance and exit.
 - c. Construct both entrances with the attached valley gutter detail. Add detail to plans.
 - d. General Comment (not a requirement): allowing 90-degree parking on a one way road can be confusing and cause accidents. The single lane along the west side of the building would also not be need to exist if all angled parking were used.
3. Sheet C401 – Utility Plan:
 - a. Call out a Neenah R-3347-A casting to replace the existing casting on the existing catch basin that will now fall in the driveway. Revise on C602 table as well.
 - b. We do not want additional taps made onto the waterline, nor the full street being cut into and closed, therefor, show removing the existing hydrant and valve, adding 2 45-degree bends and reinstalling the hydrant and valve on the south side of the new exit, centered in the boulevard.



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- c. A large portion of the site in the NW area drains to the street, this needs to be collected on site. Move STMH-1 to the connection point of the existing storm stub and add a new Catch basin next to the trash enclosure.
4. Sheet 501 – Erosion Control Plan:
 - a. All turf establishment shall be sod, not seed, per City standard.
5. Sheet C6.02 – SWPPP Narrative:
 - a. Submit NPDES Permit to City prior to beginning work.
 - b. Submit City SWPPP checklist (attached)

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.

WE HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY A LICENSED PROFESSIONAL ENGINEER UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Michael J. Geber
MICHAEL J. GEBER
PRINTED NAME: MICHAEL J. GEBER
DATE: 06/24/2022 LICENSE # 9663

Set:
Drawn By: MUG
Date: 06/24/2022
Job Number: 11422002

Qualification and Experience
The drawing is intended only for the individual or entity to which it is addressed and may contain information that is privileged, confidential and otherwise exempt from public release under applicable law. Any review or distribution by others is strictly prohibited. If you are not the intended recipient you should not disseminate, distribute or copy this drawing. If you have received this document in error, please contact the sender and destroy all copies.

THIS SHEET MAY BE A REDUCED COPY. THE SCALES INDICATED BELOW APPLY TO FULL SIZE SHEETS.

1	CITY SITE REVIEW

UTILITY PLAN

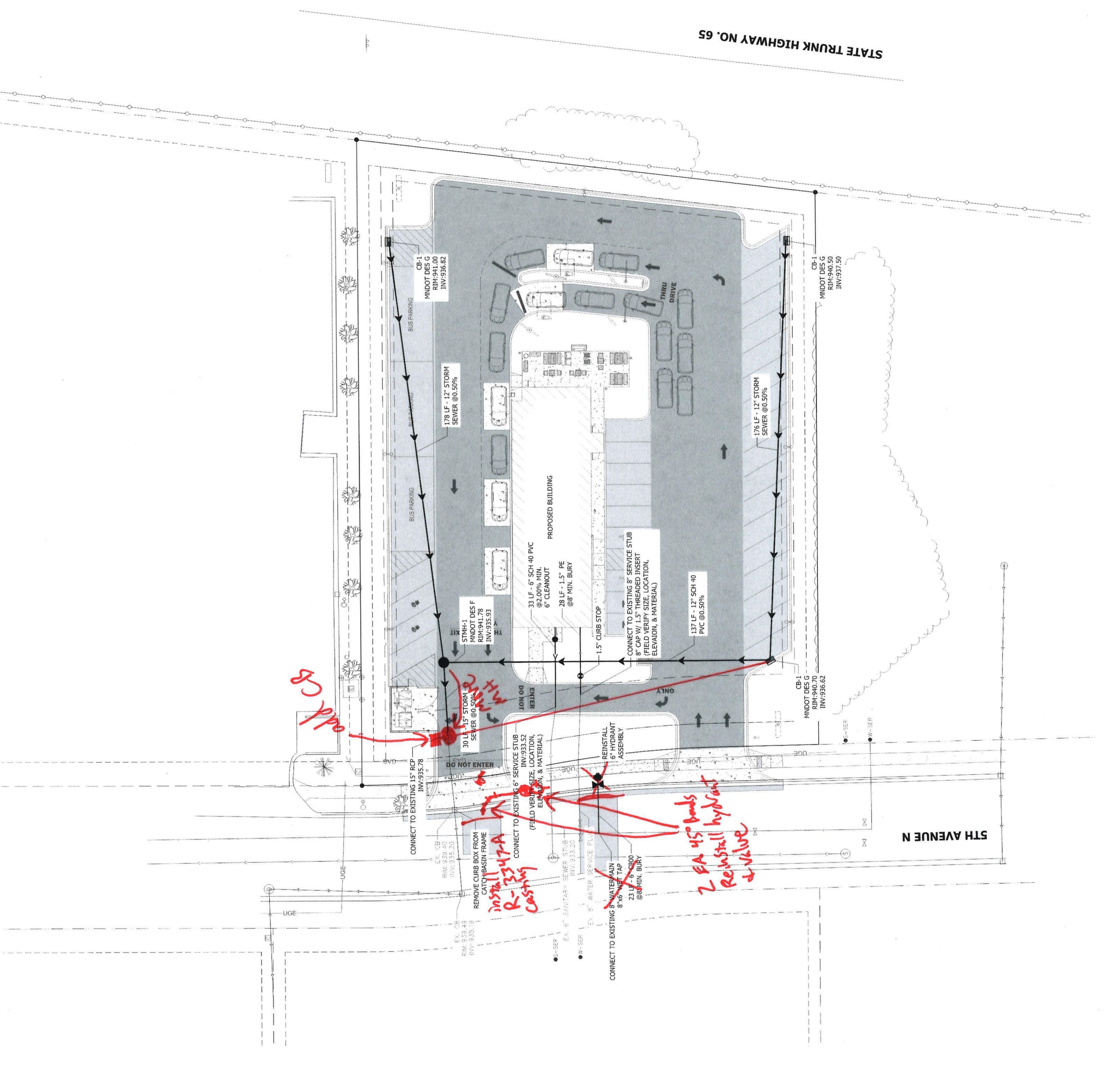
C401

NOTES:

- THE LOCATIONS AND ELEVATIONS OF THE EXISTING UTILITIES SHOWN HEREIN ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION AND ELEVATION TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY AND COORDINATE BUILDING UTILITY CONNECTION SIZES, LOCATIONS, AND ELEVATIONS WITH PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL WATER PIPING SHALL BE BURIED A MINIMUM OF 8".
- SEE WATER DETAILS FOR ADDITIONAL INFORMATION.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- SANITARY SEWER CLEANOUTS SHALL BE PROVIDED WITHIN 5' OF THE BUILDING FOR UNIT'S CONNECTION.
- SANITARY SEWER CLEANOUT SPACING SHALL NOT EXCEED 90'.
- SANITARY SEWER SERVICES SHALL HAVE A MINIMUM OF 2.00% GRADE.
- SEE SANITARY SEWER DETAILS FOR ADDITIONAL INFORMATION.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA RULES, PART 7560.0150
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MINNESOTA STATE PLUMBING CODE.
- ALL PIPING SHALL BE TESTED IN ACCORDANCE WITH THE MINNESOTA STATE PLUMBING CODE.
- ALL IMPROVEMENTS SHALL REMAIN VISIBLE FOR INSPECTION.
- GOPHER STATE ONE CALL DAMAGE PREVENTION SYSTEM FOR BURIED UTILITIES. 1-800-252-1166

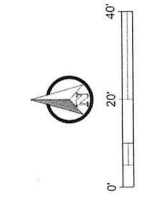
UTILITY LEGEND

- EXISTING HYDRANT
- EXISTING CURB STOP
- EXISTING GATE VALVE
- EXISTING SANITARY MANHOLE
- EXISTING CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING CULVERT APRON
- EXISTING WATER LINE
- EXISTING SANITARY LINE
- EXISTING STORM LINE
- PROPOSED HYDRANT
- PROPOSED CURB STOP
- PROPOSED GATE VALVE
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEANOUT
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED CULVERT APRON
- PROPOSED WATER LINE
- PROPOSED SANITARY LINE
- PROPOSED STORM LINE

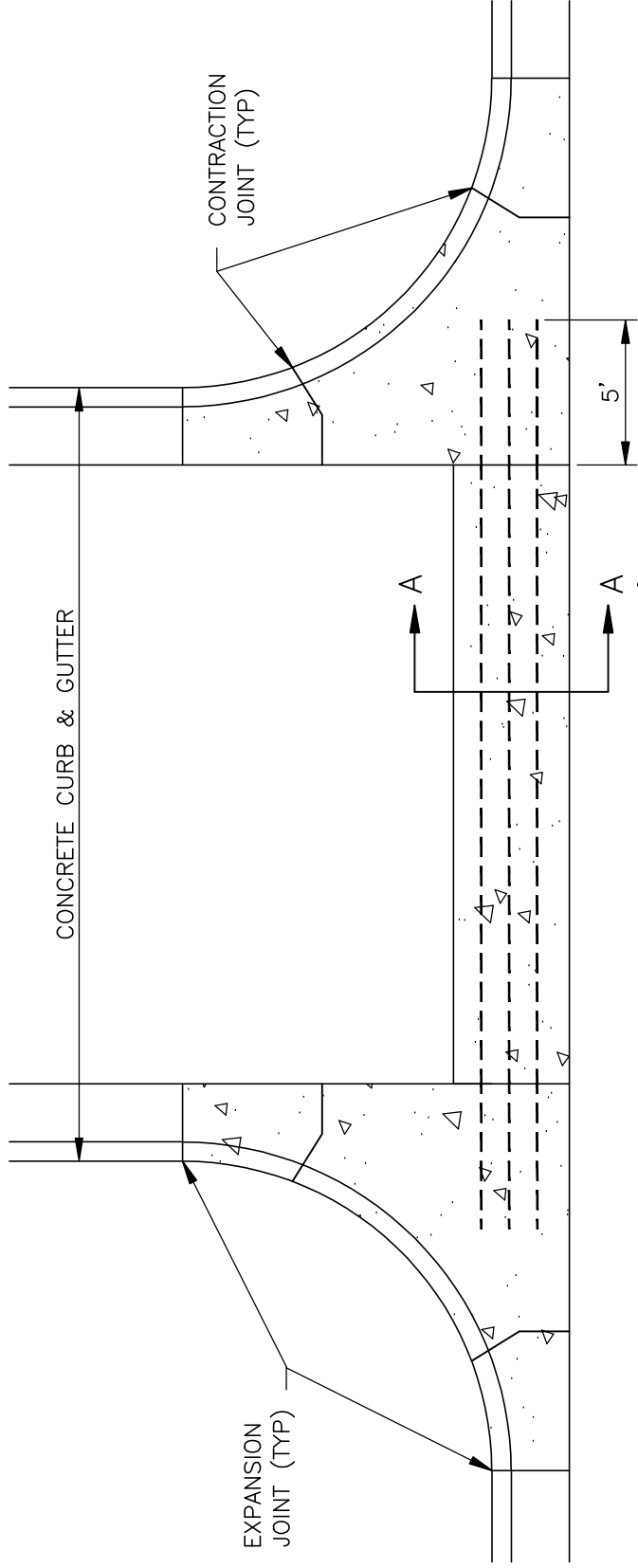


STATE TRUNK HIGHWAY NO. 65

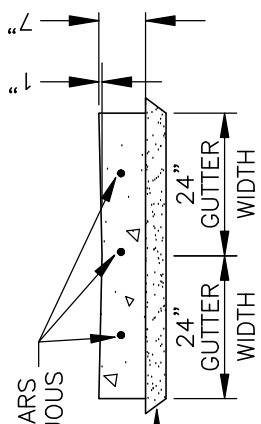
5TH AVENUE N



ARCH D 24/26/21 PRINTED



- NOTE:
1. NO CONTRACTION JOINTS IN VALLEY GUTTER
 2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER
NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE:	DETAIL LOG
PATH: Y:\7-100		REVISIONS:			
ORIG. PROJ:		REMARKS:			
PROJ. #:		ENG/TECH:			



SWPPP Checklist

Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

Background: This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

Site Information

Applicant: _____ Project name: _____

Application date: _____ Reviewer name: _____

SWPPP Narrative

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity? |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site? |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP. |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets) |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas? |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs. |

SWPPP Plan Sheets

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction). |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones). |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope). |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

Stormwater Discharge Design

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site? |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting? |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown? |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation? |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway? |

Which method of permanent stormwater treatment has been selected?

- | | | |
|--------------------------|--------------------------|--|
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Are calculations/computer model results included to demonstrate the design and adequacy? |
| <input type="checkbox"/> | <input type="checkbox"/> | Is adequate maintenance access provided? |
| <input type="checkbox"/> | <input type="checkbox"/> | Infiltration or filtration |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Is infiltration/filtration appropriate to the site and land uses? |
| <input type="checkbox"/> | <input type="checkbox"/> | Phasing to ensure excavation of infiltration system after drainage area stabilized? |
| <input type="checkbox"/> | <input type="checkbox"/> | Rigorous sediment and erosion controls to keep sediment and runoff away from the system? |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a pretreatment device planned? |
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Wet sedimentation basin: |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Configured so scour or resuspension is minimized and to prevent short circuiting. |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond |
| <input type="checkbox"/> | <input type="checkbox"/> | Basin outlets designed to prevent discharge of floatables. |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilized emergency overflow. |
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Regional ponds: |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Is written authorization from owner of regional pond included in SWPPP? |
| <input type="checkbox"/> | <input type="checkbox"/> | Does regional pond design conform to the permit requirements for wet sedimentation basin? |

Other Requirements

- | | | |
|--------------------------|--------------------------|---|
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans show areas that are not to be disturbed or are areas where disturbance will be minimized. |
| <input type="checkbox"/> | <input type="checkbox"/> | Minimize disturbance or other techniques to minimize destabilization of steep slopes. |
| <input type="checkbox"/> | <input type="checkbox"/> | Has appropriate construction phasing been implemented? |
| <input type="checkbox"/> | <input type="checkbox"/> | Exposed soils have erosion protection/cover initiated immediately and finished within 14 days |
| <input type="checkbox"/> | <input type="checkbox"/> | Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours. |
| <input type="checkbox"/> | <input type="checkbox"/> | Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system. |
| <input type="checkbox"/> | <input type="checkbox"/> | Pipe outlets have energy dissipation within 24 hours of connecting. |
| <input type="checkbox"/> | <input type="checkbox"/> | Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones? |
| <input type="checkbox"/> | <input type="checkbox"/> | Are all inlets protected? |
| <input type="checkbox"/> | <input type="checkbox"/> | Stockpiles have sediment control. |
| <input type="checkbox"/> | <input type="checkbox"/> | Construction site entrances minimize street tracking. |
| <input type="checkbox"/> | <input type="checkbox"/> | Plans minimize soil compaction and preserve topsoil. |
| <input type="checkbox"/> | <input type="checkbox"/> | 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water. |
| <input type="checkbox"/> | <input type="checkbox"/> | Is a dewatering plan required? |
| <input type="checkbox"/> | <input type="checkbox"/> | Storage, handling, and disposal of construction products, materials, and wastes. |
| <input type="checkbox"/> | <input type="checkbox"/> | Fueling and maintenance of equipment or vehicles; spill prevention and response. |
| <input type="checkbox"/> | <input type="checkbox"/> | Vehicle and equipment washing. |
| <input type="checkbox"/> | <input type="checkbox"/> | No engine degreasing allowed on site. |
| <input type="checkbox"/> | <input type="checkbox"/> | Containment of Concrete and other washout waste. |
| <input type="checkbox"/> | <input type="checkbox"/> | Portable toilets are positioned so that they are secure. |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization by uniform perennial vegetative cover (70% density of its expected final growth). |

Requirements of Appendix A

- | | | |
|--------------------------|--------------------------|--|
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water? |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Stabilization initiated immediately and all soils protected in 7 days |
| <input type="checkbox"/> | <input type="checkbox"/> | Provide temp basin for five acres draining to common location. |
| <input type="checkbox"/> | <input type="checkbox"/> | 100-foot buffer |
| <input type="checkbox"/> | <input type="checkbox"/> | Other as appropriate |

Wetland Impacts

- | | | |
|--------------------------|--------------------------|--|
| Yes | No | |
| <input type="checkbox"/> | <input type="checkbox"/> | Does this site have a discharge with the potential for adverse impact to wetlands: |
| | | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Does the SWPPP comply with the conditions of an approved Wetland Impact Permit? |

July 15, 2022

City of Isanti Planning Commission
110 1st Ave NW
Isanti, MN 55040



RE: Dairy Queen

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed Dairy Queen Grill & Chill by American Dairy Queen, constructed by Marcus Construction on PID 116.126.0060.

Isanti Fire supports the continuation as presented in the July 5, 2022 development review meeting providing that all State and City fire codes are conforming per City of Isanti Code 111-113: *Adoption of MN State Fire Code.*

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich". The signature is stylized and includes a large, sweeping flourish that extends to the left and then loops back to the right.

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: July 19, 2022

SUBJECT: Ordinance Amending the City Zoning Ordinance Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'.

Request: Request by resident, Thomas Bowen, for amendment to City Ordinance 445, Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'. Said request is to include metal as an acceptable roofing material.

Overview/Background

At the June 21, 2022 Committee of the Whole meeting the Council directed staff to revise the Zoning Ordinance to allow metal as an acceptable roofing material for residential structures.

To amend the ordinance a public hearing must be called and should be opened for public comment at this time. The Planning Commission should discuss if metal roofs should be considered an acceptable roofing material in residential districts and if there are any conditions to this inclusion.

Staff Recommendation

Staff recommends approval of the amendment to the City Zoning Ordinance Section 6, Articles 1, 2, 3, 4, 5, & 6 under 'Special Regulations'.

Attachments

- Ordinance XXX

ORDINANCE NO. XXX

**ORDINANCE AMENDING THE CITY ZONING CODE, ORDINANCE 445, SECTION 6
RESIDENTIAL DISTRICTS, ARTICLE ONE “R-1” SINGLE FAMILY RESIDENTIAL
DISTRICT; ARTICLE TWO “R-2” SINGLE FAMILY RESIDENTIAL DISTRICT;
ARTICLE THREE “R-3A” LOW DENSITY MULTIPLE FAMILY DISTRICT; ARTICLE
FOUR “R-3B” MEDIUM DENSITY MULTIPLE FAMILY DISTRICT; ARTICLE FIVE
“R-4” MULTIPLE DWELLING DISTRICT; ARTICLE SIX “R-1A” RESIDENTIAL
RURAL DISTRICT, SPECIAL REGULATIONS**

THE CITY OF ISANTI DOES ORDAIN:

I. AMENDMENTS

Ordinance No. 445 Zoning, Article One “R-1” Single Family Residential District

Subdivision 7 shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
- 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

II. AMENDMENTS

Ordinance No. 445, Zoning, Article Two “R-2” Single Family Residential District Subdivision 7

shall be hereby amended as follows:

- C. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
 - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

III. AMENDMENTS

Ordinance No. 445, Zoning, Article Three “R-3A” Low Density Multiple Family District

Subdivision 8 shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
 - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

IV. AMENDMENTS

Ordinance No. 445, Zoning, Article Four “R-3B” Medium Density Multiple Family District

Subdivision 8 shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
 - 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

V. AMENDMENTS

Ordinance No. 445, Zoning, Article Five “R-4” Multiple Family Dwelling District Subdivision 8

shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.

1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

VI. AMENDMENTS

Ordinance No. 445, Zoning, Article Six “R-1a” Residential Rural District Subdivision 7 shall be hereby amended as follows:

- D. The design of the structure shall be similar in character and appearance to other dwellings in the area with regard to unit size, roof overhangs, roof materials, roof pitch, and exterior materials.
 1. A roof constructed of asphalt composition, shingle, tile, crushed rock, *metal* or similar roofing material, which is compatible with surrounding development shall be used.

VII. EFFECTIVE DATE

This ordinance shall take effect upon its adoption and publication in the City’s Official Newspaper.

Adopted by the City Council this 3rd day of August, 2022.

Mayor Jeff Johnson

Attest:

Jaden Strand, Human Resources/City Clerk