



**CITY OF ISANTI  
PLANNING COMMISSION MEETING  
TUESDAY, September 20, 2022  
Immediately following 7:00pm City Council Meeting  
CITY HALL**

**1. Meeting Opening**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

**2. Meeting Minutes**

- A. Approval of Minutes from the August 16, 2022 Planning Commission Meeting

**3. Public Hearing**

- A. Request by Amy Rockstad for Site Plan approval under City Ordinance 445, Section 18, said request is for a commercial building with tenant spaces for Rockstad and Co. located at 108 Main St E.
- B. Request by Structural Buildings for Site Plan approval under City Ordinance 445, Section 18, said request is for a manufacturing building for Special Tools Inc. located in the Industrial Park District at PID 16.159.0010.
- C. Request by the City of Isanti for Zoning Ordinance Text Amendment approval under City Ordinance 445, Section 21, Article 1, said request is to amend Section 15 "Fencing, Screening and Landscaping". A complete copy of the proposed amendments is available upon request at City Hall, 110-1<sup>st</sup> Ave NW, Isanti, MN 55040

**4. Other Business**

**5. Discussion Items**

**6. Adjournment**

## CITY OF ISANTI

### PLANNING COMMISSION MEETING

**TUESDAY, August 16, 2022**

Immediately following the 7:00 P.M City Council Meeting;

#### **1. Meeting Opening**

- A. Call to Order: Chair Johnson called the meeting to order at 7:23 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Jimmy Gordan, Paul Bergley, Dan Collison  
Members Absent: Steve Lundeen, Arissya Simon, Alexander Collins  
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda  
Motion to adopt the agenda by Collison, second by Bergley motion passes 4-0.

#### **2. Meeting Minutes**

- A. Approval of Minutes from the June 21, 2022 Planning Commission Meeting, motion by Bergley, second by Gordon, motion passes 4-0.

#### **4. Public Hearing**

- A. Request by the Isanti County Sheriff's Office for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2. Said request is to install a VHF Paging Repeater on the City Water Tower at 601 E Dual Blvd NE for Telecommunications Services.

Saltis presented the request for the Conditional Use Permit for installing a paging repeater for the Isanti County Sheriff's Department on the City Water Tower. It was explained that the proposed repeater would be placed on existing unused mounts on the water tower. The new telecommunications services will not cause any radio interference with existing wireless services on the tower, as they are on a different frequency. Mayor Johnson questioned why we require a building permit for this project. City staff responded that a building permit is needed to ensure that the system is mounted correctly. No one from the public spoke at the public hearing. Motion for approval of the CUP for installing a VHF Paging Repeater on the City Water Tower was made by Bergley and seconded by Collison, motion passed 4-0.

5. **Other Business:** City Administrator Josi Wood alerted the Planning Commission that the T-Mobile Telecommunications Services on the Water Tower would be removed in the near future and that this will be on an agenda for City Council. T-Mobile no longer needs the services in this location and will be dropping out of the lease with the city.
6. **Discussion Items:** None
7. **Adjournment:** Motion by Bergley, 2<sup>nd</sup> by Collison to adjourn, motion passed 4-0, meeting adjourned at 7:29 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: September 20, 2022

SUBJECT: Site Plan approval for a Commercial building with tenant spaces for Rockstad Relics and Wares located at 108 Main St E

---

**Request:** The applicant, Amy Rockstad is requesting site plan approval for a proposed commercial building with tenant spaces located at 108 Main St E.

**Overview/Background:** The applicant would like to construct a commercial building on a 7,000 sq ft vacant lot located at 108 Main St E. This parcel is currently zoned B-1 Central Business District and is within the Downtown Overlay Zoning District in which a “General Retail Establishment” is a permitted use.

The building is proposed to be 5,160 square feet and will consist of the Rockstad Relics and Wares boutique retail space, and three tenant spaces on the east side of the building. Each tenant space will have a separate mechanical space and restroom area. The site does not feature any designated off-street parking areas; however, the Downtown Overlay District allows flexibility for shared parking and promotes pedestrian walkability between businesses.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the B-1 Central Business District and Downtown Overlay District:

### **Lot/Building Size Requirements**

*There is not a minimum lot size or building size requirement for the B-1 Central Business District or Downtown Overlay District. The building is proposed to be 5,160 sq ft and will be set on a 7,000 sq ft vacant lot. The building will be roughly 74% of the total lot surface.*

## **Setbacks – Principal Building**

The following minimum requirements shall be observed in the Central Business District; subject to additional requirements, exceptions, and modifications as set forth within this Ordinance:

- A. Setbacks and Height Restrictions – Principal Building.
- |                                              |                                                                    |
|----------------------------------------------|--------------------------------------------------------------------|
| Minimum Setback from a Railroad Right-of-Way | 10 feet                                                            |
| Front, Side, and Rear Yards                  | Zero Lot Line Maximum                                              |
| Building Height                              | Three (3) stories or<br>forty-five (45) feet,<br>whichever is less |

*The proposed building will be setback 3 ft from the front property line, 7 ft from the rear property line, 10 ft from the east property line and 4 ft from the west property line. These front, side and rear setbacks will meet the requirements of a zero-lot line maximum which would allow for the building to be placed directly on property lines. The building is proposed to be single story construction and will not exceed the forty-five ft height requirement in this Zoning District.*

## **Streets and Sidewalk Network**

- A. Developments that include public or private streets shall connect with and provide for the future extension of the community's existing street network.  
*The development will utilize the existing streets of Main Street, Dahlin Ave NE and Elim Lane NE.*
- B. Sidewalks are required along all public and private streets within the Downtown Overlay District. The location and alignment of new sidewalks shall connect directly with the existing sidewalk network. The width of the sidewalk shall be consistent with City policy.  
*Existing Sidewalks will be utilized along the front and the west sides of the building, which will run parallel to the existing streets. Concrete pads will be placed from the sidewalk to the building's doors for entrances and easy accessibility.*
- C. On-street parking shall be incorporated with the street design within the Downtown Overlay District. Parking areas shall be defined by curbing.  
*On-street parking will be accessible to the building off of Dahlin Ave NE and a parking lot nearby on Main St.*
- D. The number and width of curb cuts shall be in conformance with City policy. Sites within the Downtown Overlay District that have multiple buildings shall have unified / joint access.  
*There are no curb cuts proposed on site for parking areas.*

- E. Street trees shall be placed, no less than one (1) tree per fifty (50) lineal feet of frontage on any street within the Downtown Overlay District. Where street trees cannot be planted, sidewalk planters are encouraged in these areas. Such trees or planters shall be coordinated as part of the streetscape design.  
*A landscaping plan was provided for review of plant locations and species types. There are no trees proposed on the site. Based on the 1 tree per 50 lineal feet of frontage requirement, the site would be required at least 5 trees (250 linear ft of street frontage on Main St, Dahlin Ave, and Elim Ln). The building setbacks on the front and west sides of the building are too small for tree plantings but the building has 10 ft setbacks from the eastern property line. Staff believes that this area should have at least two trees to make up for lost landscaping areas on all other sides of the building. Plantings of deciduous shrubs and perennials are proposed to be planted along the front and west side of the building.*
- F. All new utilities shall be encouraged to be placed underground. Compatible lines (e.g., electric, phone, cable) shall be placed in a common trench.  
*The utilities plan indicates underground connections for the site.*

### **Parking Standards**

Off-Street Parking Areas located within the Downtown Overlay District are intended to be a pedestrian-oriented place. The design, location, and availability of parking will be a critical component to ensure the success of redevelopment within this area. Parking must be conveniently located and easily accessible; however, parking areas should not negatively impact the pedestrian character of the area. The purpose of the off-street parking requirements within the Downtown Overlay District is to allow land uses to deviate from the parking requirements provided in Section 17 of this Ordinance. The deviation from these requirements is allowed in recognition of the unique character of the downtown area, which include mixed uses, pedestrian scale development, enhanced streetscape, and potential future availability of mass transit. The regulations of the Downtown Overlay District will allow for a reduction in the number of parking spaces and encourage shared parking.

A. General.

1. Off-street parking areas should not be located in front of buildings between the building and the street.
2. Off-street parking shall be provided where it is physically possible to do so.
3. Exception to those properties located along First Avenue NW or SW, 90-degree parking is permitted abutting the street when approved by the City Council.
4. Access points for rear and side parking lots should be designed to look like streets rather than driveways.
5. Parking areas should be well identified and easy to find.

6. On-street parking should be provided everywhere it is physically possible to do so.

C. Commercial standards.

1. If the required amounts of parking spaces cannot be fully provided on site, then parking may be provided in public or shared lots elsewhere within the Downtown Overlay District.
2. Shared parking facilities among commercial uses should be encouraged where peak hours, proximity, and other characteristics would make these types of facilities feasible.
3. Parking areas should flow together and should not contain barriers that would prevent cross connections between lots, as this should encourage the sharing of parking areas between uses.
4. Shared parking shall meet the requirements as stipulated within Section 17 of this Ordinance.
5. Employees of commercial establishments should be required to park in designated long-term parking areas.
6. When a non-residential use would require 100 or fewer parking spaces based upon the requirements of Section 17 of this Ordinance, the required number of parking spaces provided shall be 50 percent of the total number required.

*The site does not provide any off-street parking. Parking is available in shared lots found on Main St and street parking is available on Dahlin Ave to the west of the proposed building. Staff believes that there will be plenty of parking options nearby and that a building with tenant spaces is a good use for this small 7,000 sq ft parcel, rather than a majority of it having to be a parking lot.*

**Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

**Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:

1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
  - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
  - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*A photometrics plan will need to be submitted with foot candle readings on the site. These foot candle readings will be based on light sources implemented on site and will have to meet all criteria listed in Section 14, Subd. 5 of the City Zoning Ordinance. Lighting will have to be downlit and not be a hazard for vehicular or pedestrian traffic. The trash enclosure must be illuminated for the safety of employees.*

### **Exterior Building Materials**

Acceptable Materials. Exterior building materials shall not be dissimilar to existing structures within the immediate area or the downtown area as a whole. Exterior building finishes shall consist of material comparable in grade and quality to the following:

1. Brick
2. Natural stone
3. Wood provided the surfaces are finished for exterior use and only woods of proven durability shall be used.



4. Glass, to include glass curtain wall panels.
5. Tilt up concrete panels that have a grid or block like appearance.
6. EIFS (Exterior Insulating and Finishing System) may be used but not as a primary material.
7. Metal may be used as an accent but not as a primary material.

*Exterior building materials include metal siding and roofing, boulder creek stone, and aluminum windows and doors. Siding color is proposed to be colonial red and the roofing will be black. Boulder Creek stone is proposed to be the primary material on the south and west sides of the building and is expected to go up to the roof line on these sides. The exterior of the building has varied detailing with materials and colors and will be visually appealing in the downtown district.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  2. Trash enclosures shall be lit.
  3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*There is not a trash enclosure indicated on site plans. An exterior trash enclosure will need to be included on site plans to verify the location will work on site. It is not identified on plans how the*

*trash receptacles will be enclosed and designed. The trash enclosure shall be designed so that it is architecturally harmonious with the principal structure on the site. The trash enclosure will also have to be illuminated for the safety of employees.*

### **Signs**

*The exterior elevations show spaces for signs on the building. All signage on site will need to have a sign permit and be reviewed by city staff to ensure that the location, design and dimensions meet the requirements listed in Section 16 of the City Zoning Ordinances.*

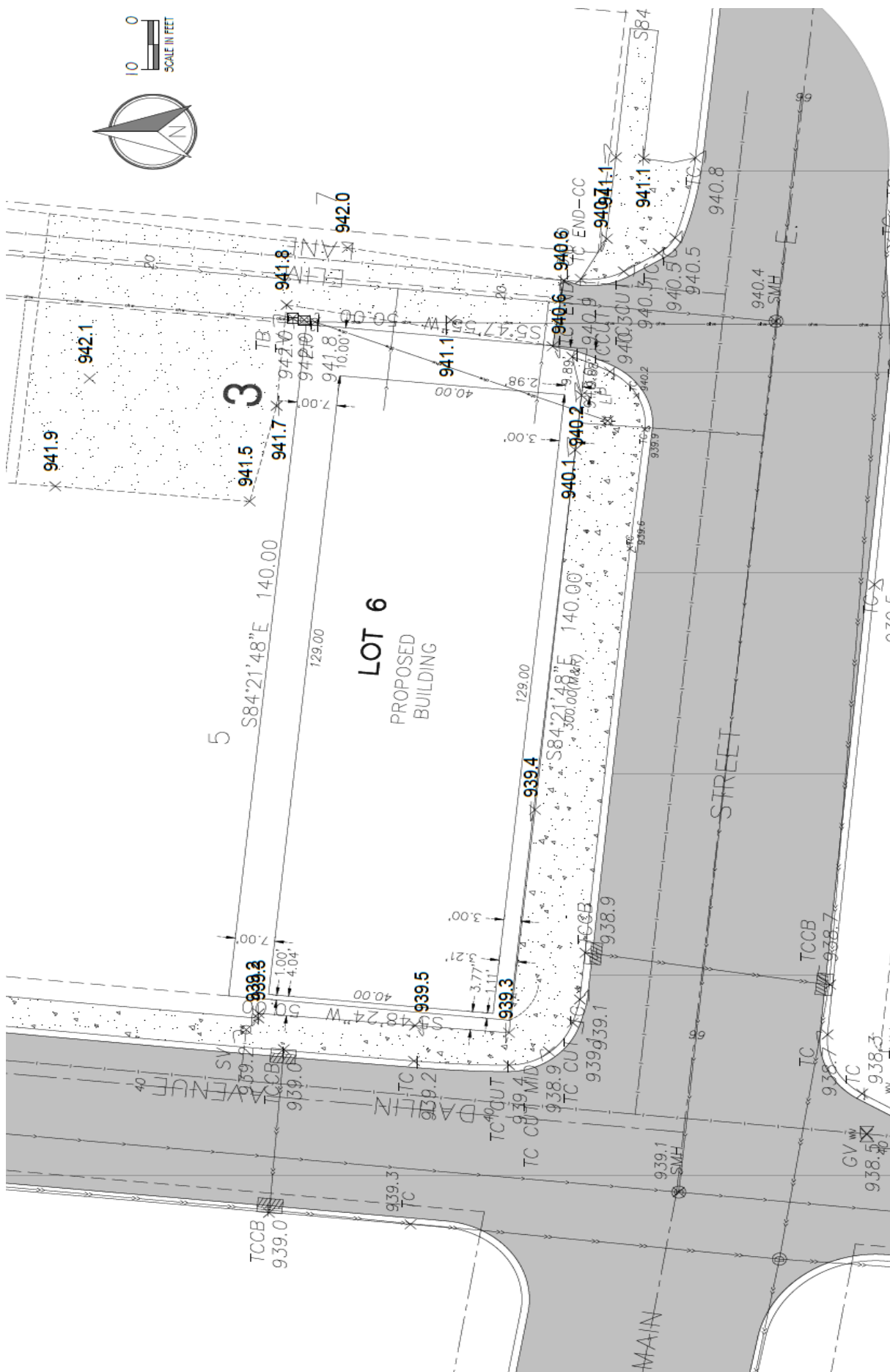
**Staff Recommendation:** Staff recommends approval of the proposed commercial building located at 108 Main St E with the following conditions:

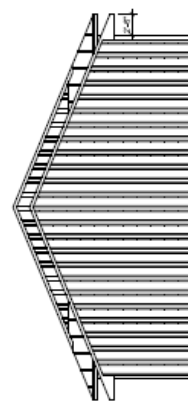
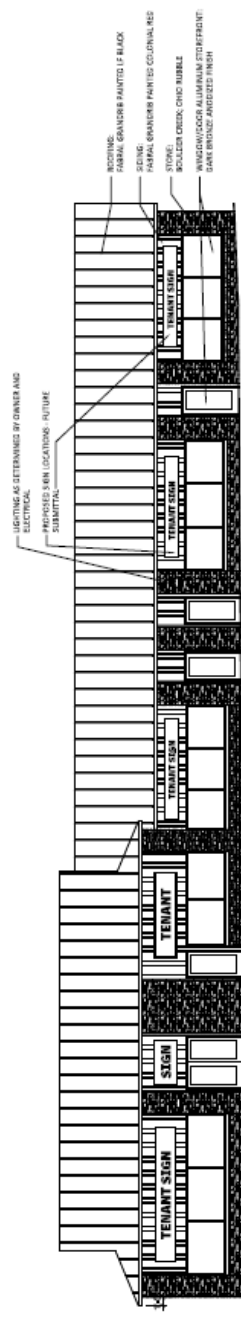
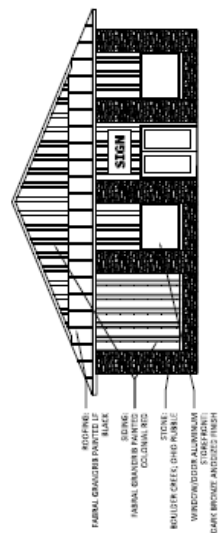
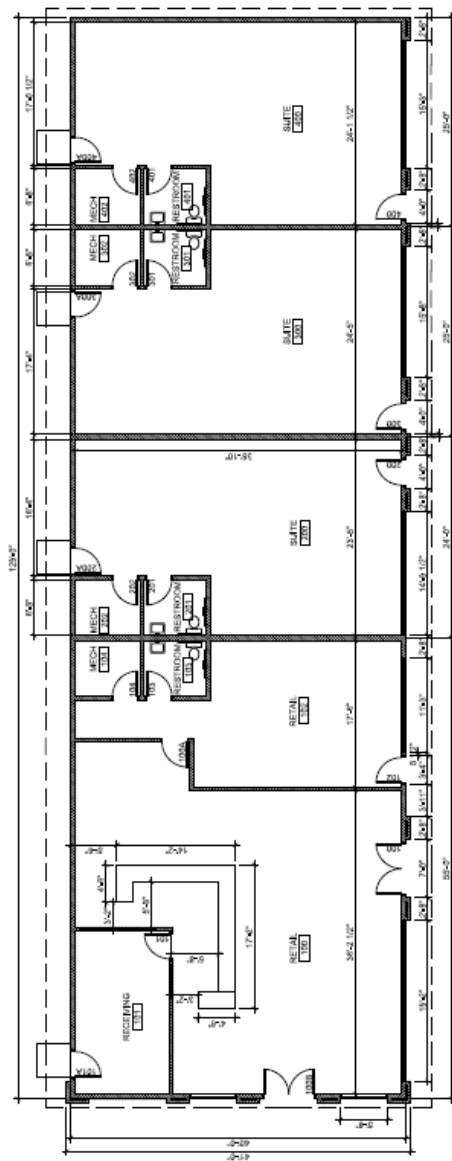
Conditions:

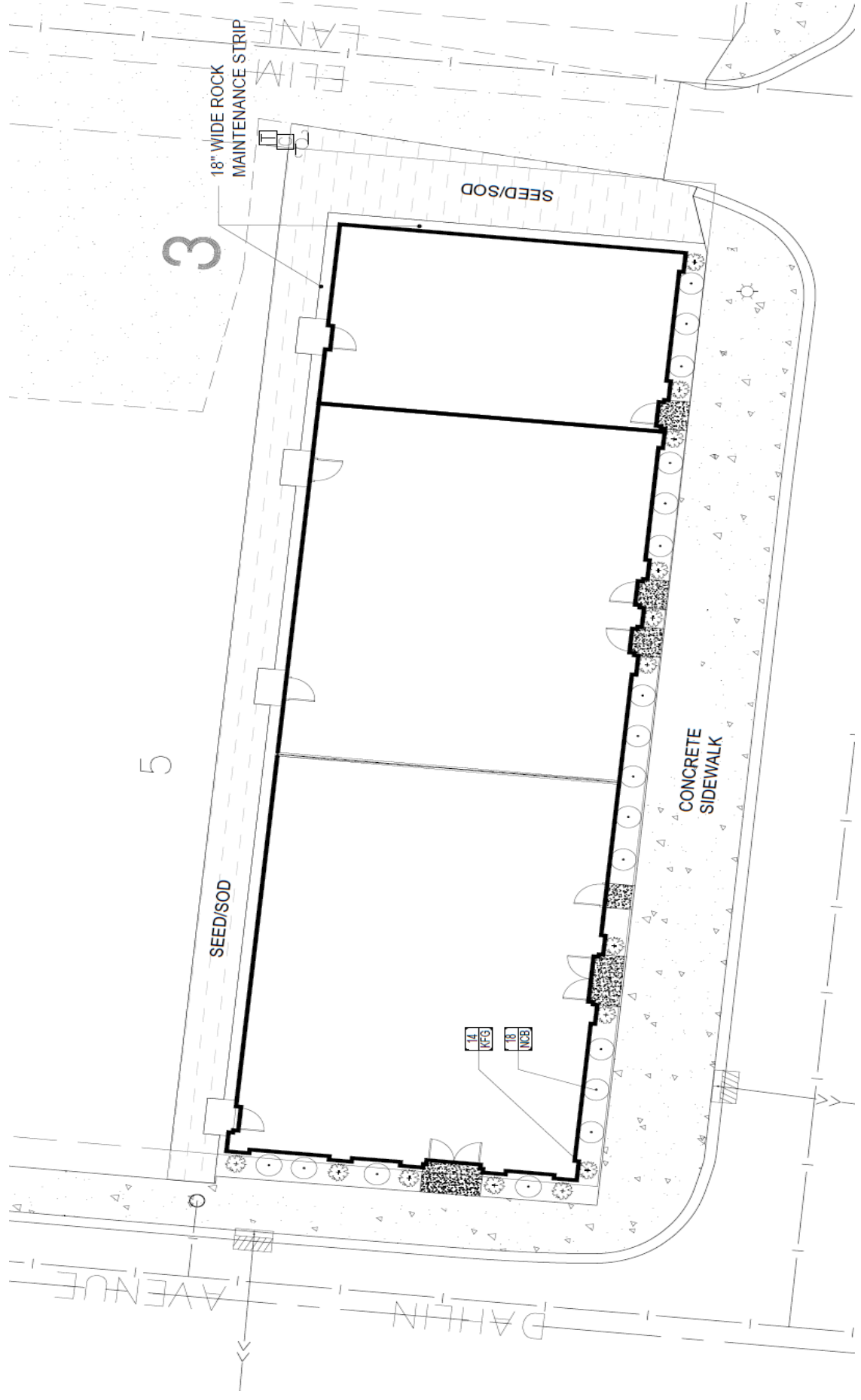
- Lighting Designs shall be downlit and follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances
- Trash enclosure must be illuminated for the safety of employees
- Trash enclosure location must be included on site plans and design shall follow Section 14, subd.3 in the City's Zoning Ordinances for Trash Enclosure Standards
- All signs shall need a sign permit when applicable to determine dimensions, design and locations
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 9/7/2022.

### **Attachments:**

- Site Plans
- Floor Plans / Exterior Elevations
- Landscaping Plans
- Engineer's Memo Dated 9/7/2022







SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
-----	-----	-------------	-----------------	------	------	----------

DECIDUOUS SHRUBS						
NCB	4	NORTHERN CHARM BOXWOOD	Buxus x 'Wilson'	24" HGT	POT	PER PLAN

PERENNIALS						
KFG	12	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT	PLANT 2 O.C.

PLANTING SCHEDULE:



Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

## MEMORANDUM

**Date:** September 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Rockstad – Civil Plan Set - Engineering Review  
City of Isanti, MN  
Project No.: 0R1.123130

We have reviewed the plan set entitled “Rockstad Civil” dated August 17, 2022 and received on August 29, 2022. The project includes the construction of a new building with multiple tenant spaces. We have reviewed the submitted documents and have the following comments:

### Utility Plan C-8:

1. Separate sewer and water service lines will be required with for each separate tenant space. The two sanitary sewer stubs that are shown on the east side of the lot may be used. The 3 separate water services may be able to tap onto the existing water stub that extends to the parcel, but each water service will need to have a curb stop at the ROW.
2. Proposed 2” sanitary line shown to west does not connect to the existing main located on the west side of Dahlin Avenue. If this sewer needs to connect to the main in Dahlin Avenue, the road will need to be closed and we will require a detour route plan be submitted for review prior to approval of this project. Also show patch area, curb and walk removal limits.
  - a. If this 2” line is not a forcemain, it will be required to be a minimum 4” gravity pipe SDR 26 at a minimum slope of 1.5%.
3. An overhead line appears to cross the SE corner of the proposed building. Coordinate with this utility to relocate as needed.

### Landscape Plan L-1-1:

4. All areas not planned to be landscaped shall receive 6” of topsoil and be sodded. An irrigation plan will also be needed.

We recommend approval of the plans once the above comments are addressed.



## MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: September 20, 2022

SUBJECT: Site Plan Review for a manufacturing building for Special Tools Inc. located on a vacant lot in the Industrial Park District at PID 16.159.0010

---

**Request:** The applicant, Structural Buildings is requesting site plan approval for a proposed manufacturing building located at PID 16.159.0010 for Special Tools Inc.

**Overview/Background:** The applicant would like to construct a manufacturing building on a 2.5-acre vacant lot located in the Industrial Park District at PID 16.159.0010. This parcel is currently zoned I-1 Industrial Park District in which “light manufacturing” is a permitted use.

The building is intended to provide custom tool manufacturing services in a warehouse setting. The building is proposed to be 2 stories in height and roughly 12,000 square feet. The first floor will have the manufacturing floor space, offices, bathrooms, mechanical room, a break room and a conference room. Fourteen parking stalls are displayed on the site plans, with one of these stalls designated as handicap accessible.

**Analysis of Application:** The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

### **Lot Requirements**

- Lot Size Minimum .5 acre
- Minimum Width of Lot at ROW 100 ft
- Minimum landscaping 25% of total lot area

*The area of the parcel is roughly 2.5 acres in size and exceeds the lot size minimum. The site will meet the minimum width of lot at the Right of Way and minimum landscaping requirements.*

### **Setbacks – Principal Building**

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Rear Yard Setback 30 feet

*The proposed building will be located near the center of the parcel roughly 100 ft from the west property lines near East Dual Blvd NE and will meet all required setbacks for the I-1 zoning district.*

### **Impervious Surface Coverage**

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

*Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. Roughly 43% of the development is intended to be impervious surface. The landscaping requirement of 25% of the total lot area as green space will be met.*

### **Surfacing**

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

*The parking areas are proposed to be surfaced with bituminous pavement. Concrete aprons and sidewalks are proposed around the front of the building near the parking stalls leading to the entrance and along the rear of the building.*

### **Curbing**

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

*Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.*

### **Striping**

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) wide.

*Four-inch-wide white striping will be used across the site for designated parking stalls. One stall will be striped to indicate no parking for a handicap access stall.*



### **Parking Lot Setbacks**

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

*Parking areas on site will meet the required 10-foot setbacks from all property lines.*

### **Parking Standards**

#### **Number of Required Parking Spaces**

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

#### **Industrial Uses**

##### **PARKING SPACE CALCULATION**

##### **REQUIRED PARKING SPACES**

OFFICE: 1 SPACE PER 250 SF - 500 SF / 250 = 2 SPACES

MANUFACTURING: 1 SPACE PER 500 SF - 4950 SF / 500 = 10 SPACES

WAREHOUSE: 1 SPACE PER 1500 SF - 3550 SF / 1500 = 2 SPACES

TOTAL REQUIRED PARKING SPACES = **14 SPACES**

##### **PROVIDED PARKING SPACES**

TOTAL PROVIDED PARKING SPACES = **14 SPACES**

*Based on this number of required parking spaces standard and the use of the industrial building, the site will be required at least 14 parking spaces in which one stall would need to be designated as handicap accessible. The site plans indicate 14 total parking stalls, in which one parking stall is designated as handicap accessible in the front of the building. The site plans meet the required number of parking spaces for the development.*

#### **Stall, Aisle and Driveway Design**

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

**TABLE 9: Parking Lot and Parking Stall Dimensions**

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

*The site features 90-degree parking stalls and will have both one-way and two-way traffic. Stall dimensions are 10 ft in width and 20 ft in length and drive aisle width is 26 ft. The site will meet the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths shall be at least 26 feet and meet the requirement for two-way vehicle circulation.*

### **Lighting**

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

#### **Outdoor Lighting Standards**

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
    - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
    - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
  2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.

3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

*An exterior lighting plan was not included in the submittal. A lighting/photometrics plan is required that will show lighting types that are proposed on site. All lighting types proposed shall be downlit and designed to reduce glare. These light sources will have to meet all criteria listed in Section 14 of the City Zoning Ordinance.*

### **Curb Cuts**

*There are two curb cuts proposed along East Dual Blvd NE. These two proposed curb cuts are spaced an adequate distance from each other and comply with City Standards.*

### **Building Design and Construction**

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
  1. Face brick
  2. Natural stone
  3. Glass

4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
5. Factory fabricated, finished 26 Ga. Metal panel
6. Decorative concrete block approved by the City Council.
7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewall height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

*Exterior building materials include metal roofing and siding, and stone around the base of the South and West sides of the building. The exterior siding and stone will be a neutral tan color and will be consistent with will surrounding buildings in the Industrial Park District.*

### **Screening, and Landscaping**

A. Fencing and Screening. Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

*Mechanical equipment is not displayed on site plans. If mechanical equipment is on the exterior of the building, site plans shall be altered to show the location of the equipment.*

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

*There are three large garage doors on the building that can be used for loading and service areas. A building of this size (under 100,000 square ft) does not require a designated loading area.*

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

*The site does not abut a residential area.*

4. Refuse and Garbage receptacles shall be stored within the principal structure, within an attached structure accessible from the principal structure, or totally fenced or screened in accordance with this ordinance.

*An outdoor trash enclosure is required for this Industrial site. Site Plans do not show a location where this trash enclosure will be placed. Site plans must be modified to show the location of the enclosure for staff review. The enclosure shall meet performance standards set in Section 14, Subdivision 3 of the City Zoning Ordinances.*

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

*The site is completely surrounded by Industrial properties and does not surround a residential area.*

## **Landscaping**

Non-Residential Requirements. In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations.

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

## **Tree Requirements.**

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.

- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

*The landscaping plan proposes to include a total of 10 trees on the property near East Dual Blvd NE. These will be a mix of species including Sugar Maples, Scarlet Oaks, Norway Spruce, and Austrian Pines. The City Landscaping Ordinance requires that the site have at least 7 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 9 trees will meet this standard. Sod shall be planted on all areas not disturbed by new construction or not already covered by established lawn or turf.*

### **Refuse and Trash Receptacle Enclosures**

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garbage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
  - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
  - 2. Trash enclosures shall be lit.

3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

*The trash receptacle location is not designated on site plans. The receptacle will have to be enclosed, fenced or screened. The trash receptacle/enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City's Zoning Ordinances. The trash enclosure shall also be illuminated for the safety of employees.*

### **Signs**

*Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.*

**Staff Recommendation:** Staff recommends approval of the proposed Special Tools manufacturing building located at PID 16.159.0010 with the following conditions:

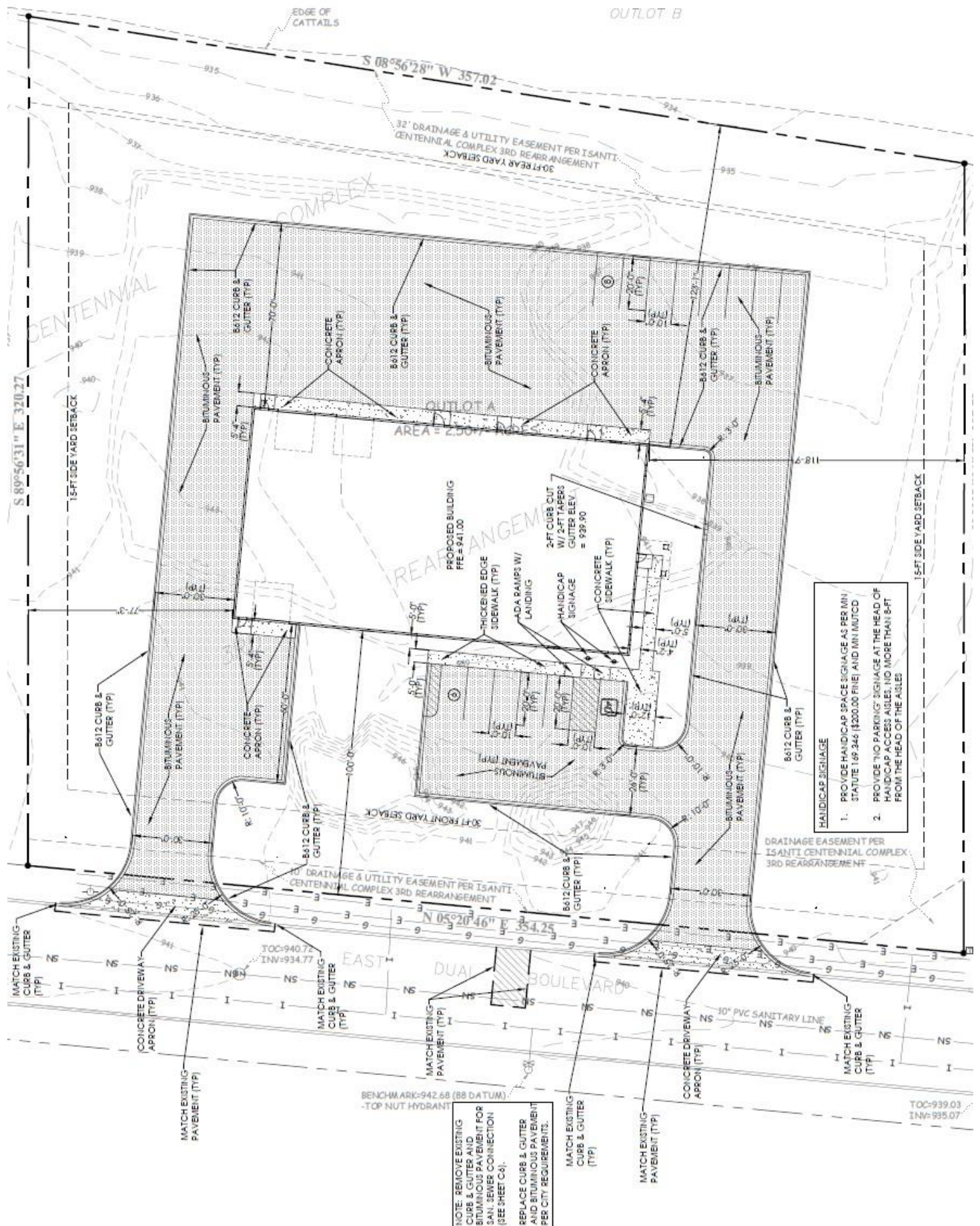
Conditions:

- Trash enclosure shall be illuminated for the safety of employees
- Trash receptacle shall be designated on site plans and fenced or screened by a permanent structure in accordance with Section 14, Subdivision 3 of the City's Zoning Ordinances.
- Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances
- All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
- Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
- All other conditions listed in the City Engineer's memo, dated 9/7/2022

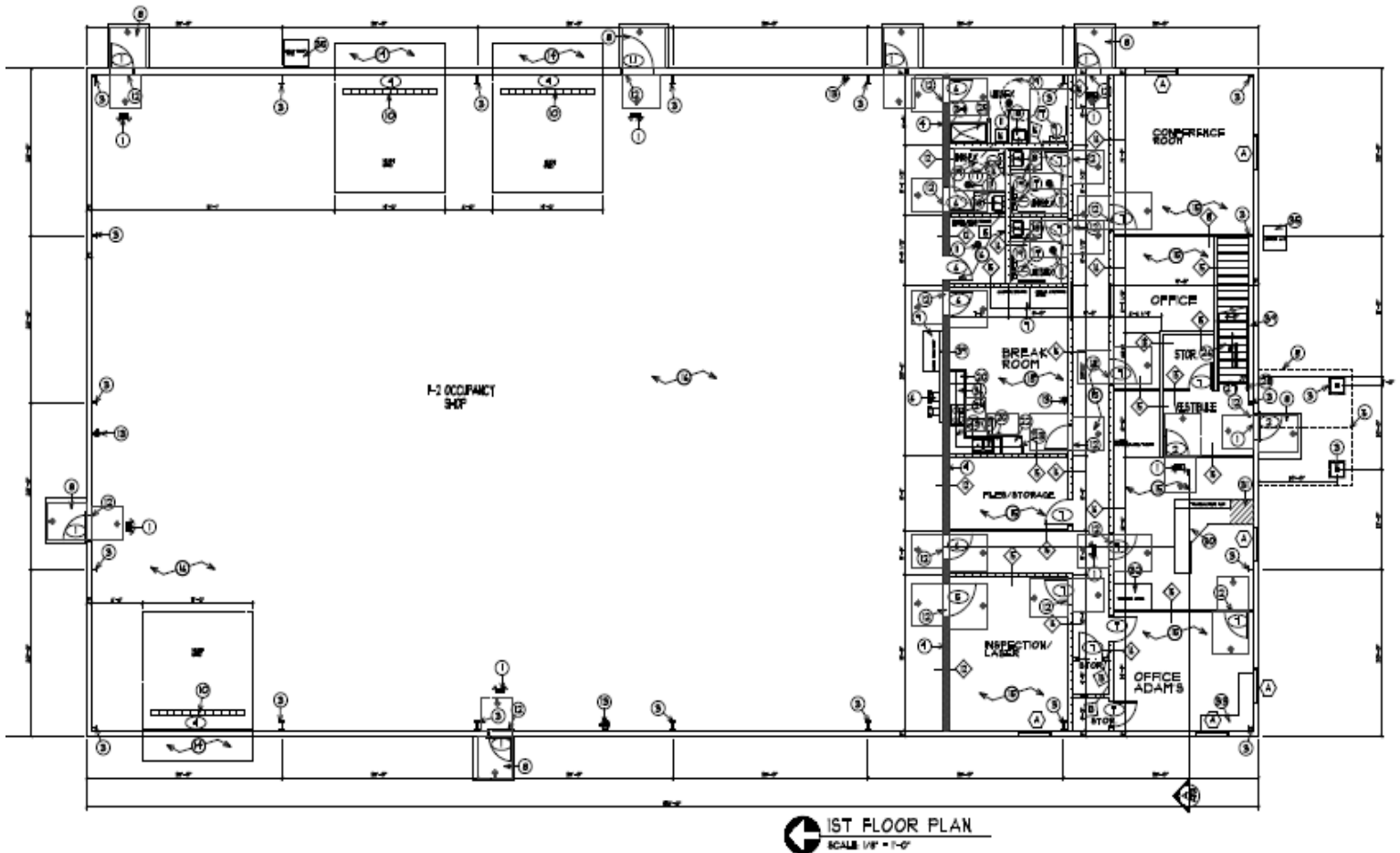
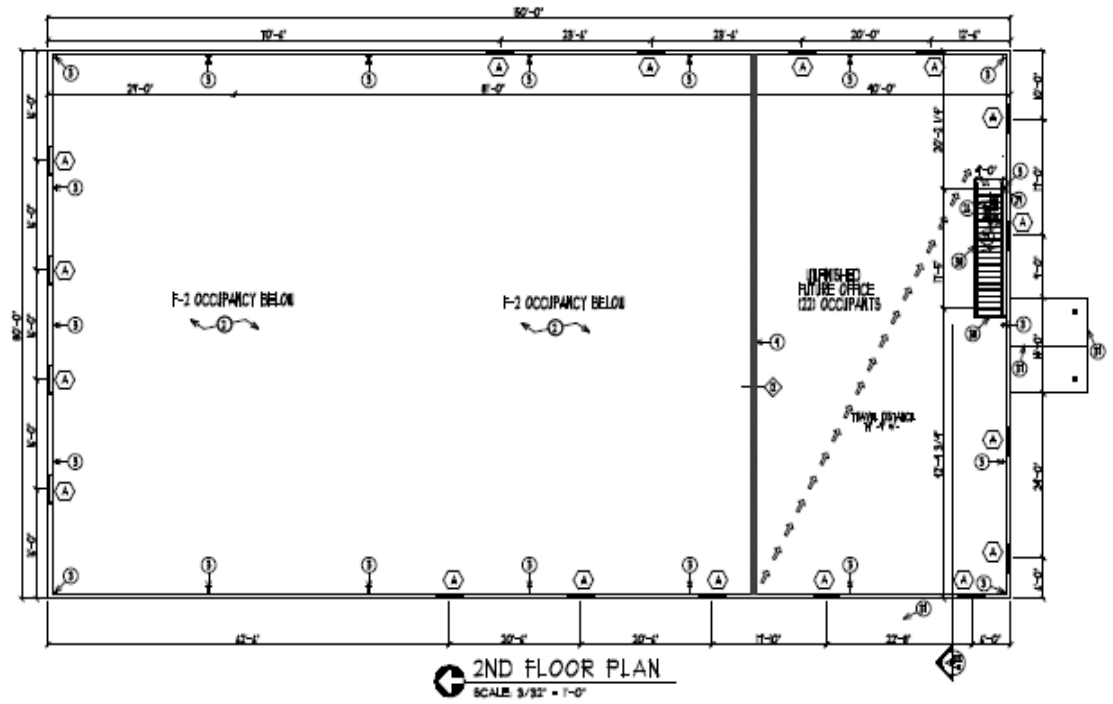
### **Attachments:**

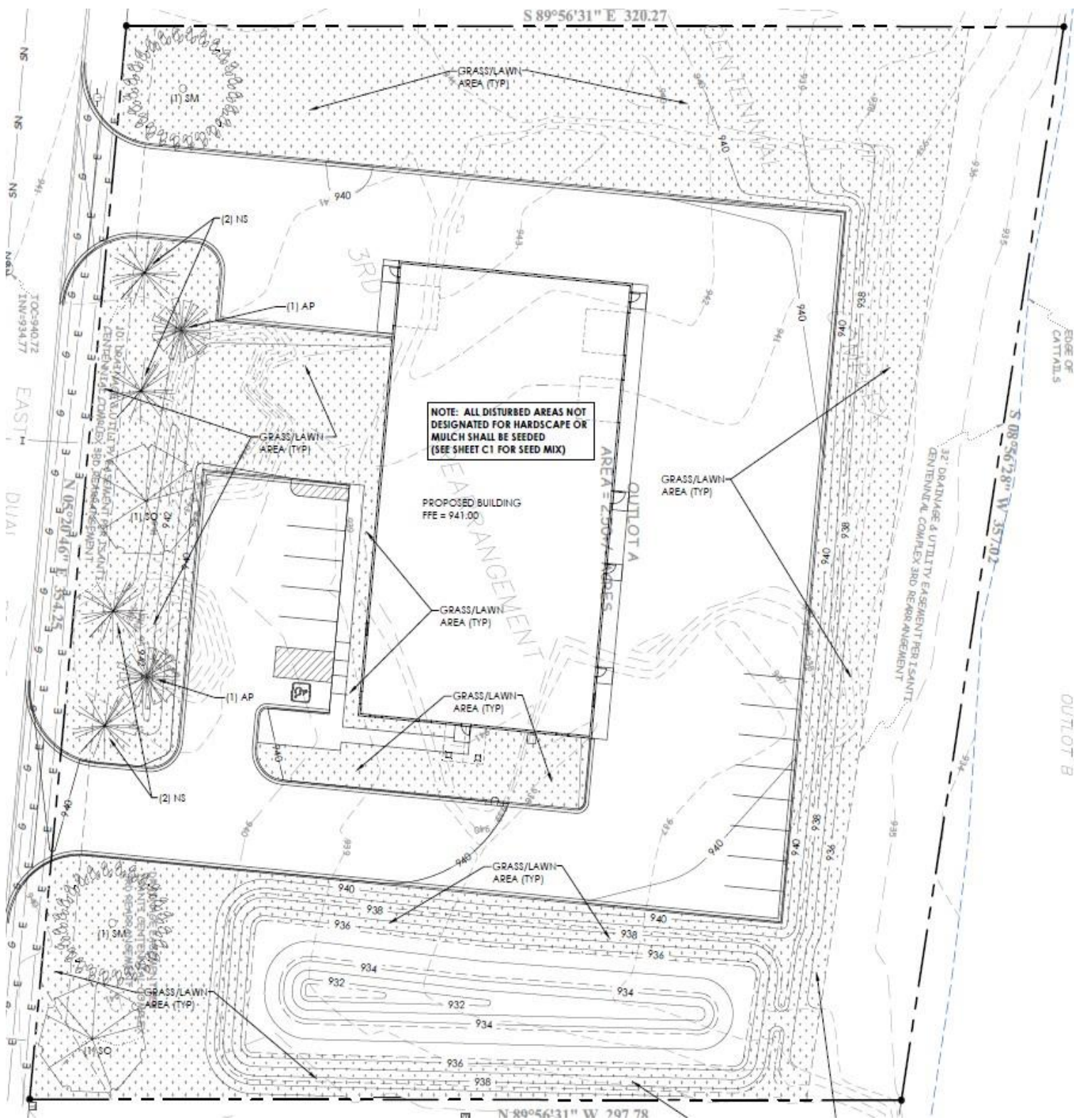
- Site Plans
- Floor Plans
- Landscaping Plans
- Exterior Elevations
- City Engineer's Memo Dated 9/7/2022















## MEMORANDUM

**Date:** September 7, 2022  
**To:** Stephanie Hillesheim, Community Development Director  
**From:** Jason W Cook, P.E.  
City Engineer  
**Subject:** Special Tools – Civil Plan Review  
City of Isanti, MN  
Project No.: 0R1.126218

We have reviewed the plan set entitled “Special Tools” received on August 29, 2022. The project includes the construction of a new building, a parking lot and a storm water pond. We have reviewed the submitted documents and have the following comments:

Utility Plan C 6 of 6:

1. Use existing sanitary sewer stub to avoid cutting into street. See attached record drawing. Verify depths and adjust site accordingly.

Landscaping Plan CL1 of 1:

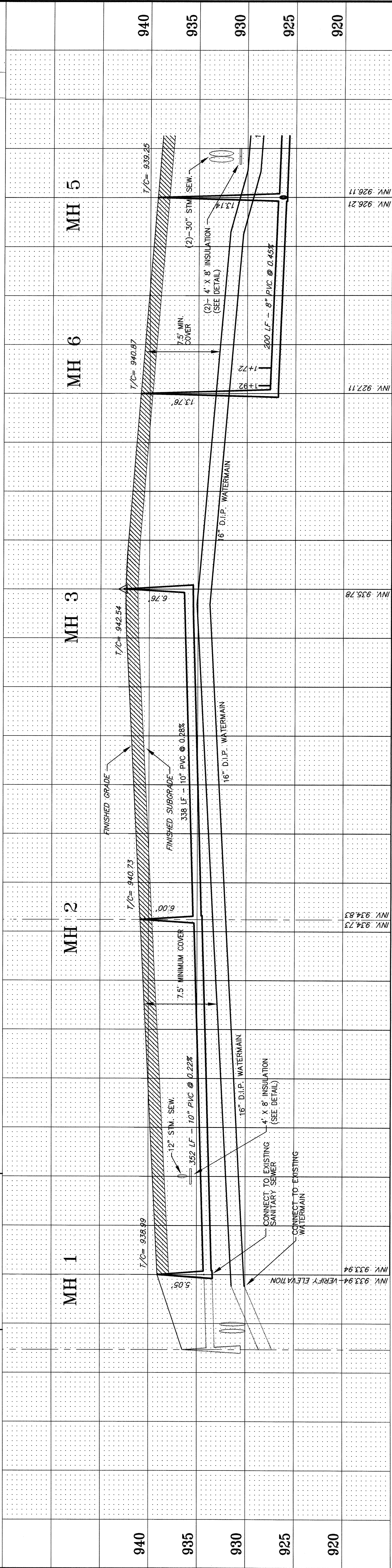
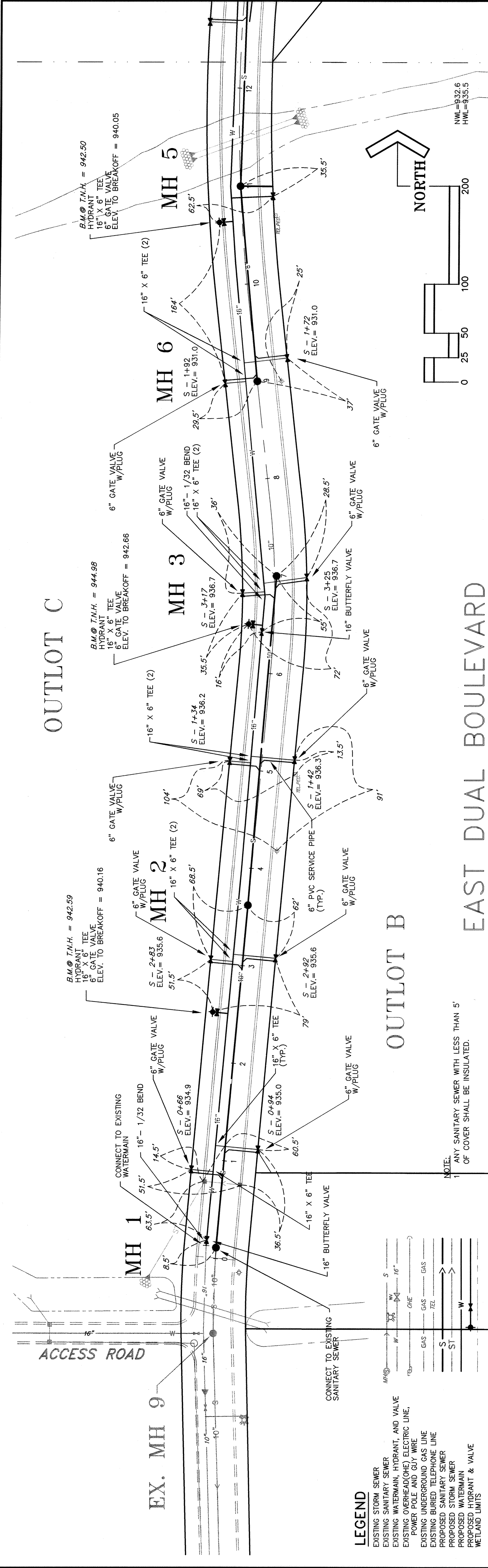
2. Sod all disturbed areas not intended for landscaping, or below normal water level of proposed pond.
3. Do not plan trees within 10 feet of the proposed sanitary sewer or water service lines.

Stormwater:

4. Submit Hydraulic Modeling of the storm system and wet pond sizing.
  - a. Verify 2, 10, and 100 year event discharge rates will not be increased from existing.
5. See attached SWPPP checklist and make necessary revisions to address all missing items.
6. Submit NPDES permit to City prior to work beginning on site.

We recommend approval of the plans once the above comments are addressed.





**Revisions**

No.	Date	By	Remarks
A	01/17/05	AKF	RECORD PLAN REVISION

**CONTRACTOR: HYDROCON, INC.**

**RECORD PLAN: 2004**

**Project**  
2003 Centennial Industrial Park  
Street & Utility Improvements  
Isanti, MN

**Client**  
City of Isanti  
Isanti, MN

**Engineering • Planning • Surveying**  
15000 23rd Avenue North • Plymouth, Minnesota • 55447  
phone 763/476-6010 • fax 763/476-8532  
E-Mail: mfra@mfra.com

**MFRA**  
McConits Frank Roos  
Associates, Inc.

**Scale** 1"=50'

**Designed** DLK  
**Drawn** MRD  
**Date** 1/15/03  
**Checked** DLK  
**Approved** JLR

**Revisions**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature *Jeffrey V. Roos*  
Name JEFFREY V. ROOS  
Date 3/10/03 License # 10206

**Sheet Title**  
Utility Plan  
Plan & Profile

**Sheet**  
7 / 19  
A

**Revision**  
MFRA FILE NO.: 13938



## MEMORANDUM

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: September 20, 2022

SUBJECT: Ordinance Amending the City Zoning Ordinance Section 15: FENCING, SCREENING, AND LANDSCAPING

---

### **Overview/Background**

City staff has recently reviewed and worked on revisions of the Fencing, Screening and Landscaping ordinance to be more consistent throughout the section, clear up contradictions and clarify requirements for all zoning districts.

To amend the ordinance a public hearing must be called and should be opened for public comment at this time. The Planning Commission should discuss if the changes are acceptable as presented and researched by staff.

### **Staff Recommendation**

Staff recommends recommendation of approval of the amendments to the City Zoning Ordinance Section 15.

### **Attachments**

- Ordinance XXX

## SECTION 15: FENCING, SCREENING, AND LANDSCAPING

Subdivision 1	General Provisions
Subdivision 2	Residential Fences
Subdivision 3	Non-Residential Fences
Subdivision 4	Screening Fences and Planting Screens
Subdivision 5	Landscaping Requirements

### Subdivision 1: General Provisions.

Except as otherwise provided herein, all fences and walls within the City shall be subject to the following general provisions:

A. Permit Required.

1. Building Permit. Prior to the construction and/or installation of a fence and/or retaining wall over four (4) feet in height, an application for a building permit shall be obtained from the City and shall specify the intended location, character, and size of such fence or wall.
2. Zoning Permit. For all other fences and retaining walls, not meeting the requirements for a building permit, a zoning permit must be obtained prior to construction on the property.

B. Maintenance. All fences and retaining walls shall be properly maintained, so as not to become unsightly, hazardous, or constitute a nuisance. Damaged and destroyed fences and retaining walls shall be removed and replaced within thirty (30) days upon written notice from the Community Development Director or his/her designee. All fence structures shall be maintained at the property owner's expense. The persons, firms, corporations, or individuals constructing or causing the construction of such fence structures shall be responsible for maintaining that part of the property between the fence structure and the property line.

C. Installation.

1. The side of any fence or wall considered to be its "face" (finished side with no structural supports) shall face either the abutting property or the street right-of-way.
2. Upon installation of the fence structure, no physical damage shall occur to the abutting property owner unless it has been permitted under written agreement with the adjacent property owner.

~~D. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed wire fencing is prohibited in all non-industrial districts.~~

~~E. Setbacks.~~

- ~~1. On corner lots or lots adjacent to railroad right of ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.~~
- ~~2. Privacy fences shall be setback a minimum of two (2) feet from any street right of way.~~
- ~~3. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.~~
- ~~4. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.~~
- ~~5. No fences shall be permitted within a stormwater flow path.~~
- ~~6. Fences within a storm pond drainage easement must provide for the free flow of water by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.~~
- ~~7. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)~~

~~F. Retaining Walls. Retaining walls exceeding four (4) feet in height, including staged walls which cumulatively exceed four (4) feet in height, must be constructed in accordance with plans prepared by a registered engineer or landscaped architect. Building permits for construction of a retaining wall over four (4) feet are required.~~



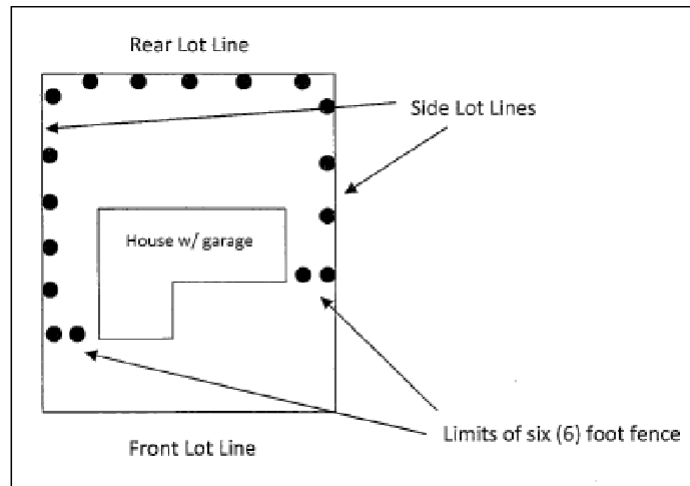
- G. Property Owner Responsibility. Any ~~fence~~ structure located on the property line or within a drainage and utility easement shall be removed upon request of the City and at the expense of the property owner.

### **Subdivision 2: Residential Fences**

The following regulations shall apply to all residential properties located within the City.

- A. Maximum Height. Fences shall be no higher than three (3) feet when extended past the front corner of the home or garage of the principal structure. Fences shall be no higher than six (6) feet in the rear and side yards and shall not extend past the front corner of the principal structure. Fence height shall be measured from the finished grade level.

**FIGURE 12: Fence Location**



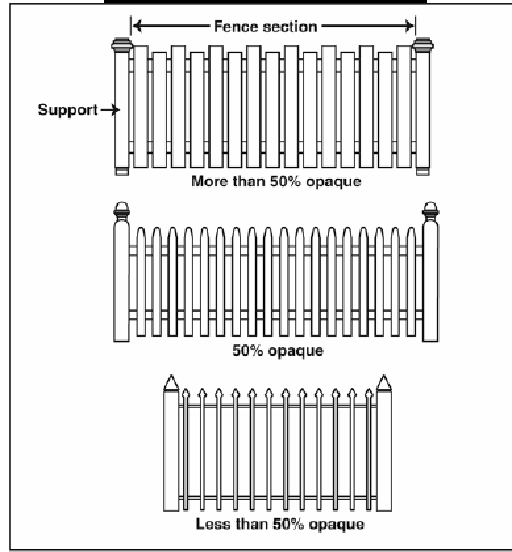
Note: Drawing has been provided to show the limitations on the location of a six (6) foot fence, in reference to the principal structure on an interior lot only. Corner lots must meet the requirements as provided within the text of this Ordinance.

- B. Exceptions. The following exceptions apply to residential fences.
1. On corner lots, the street side setback may match the setback of the prevailing fence line of the corner lot immediately abutting such property. However, at no time shall the fence be within the right-of-way or the vision clearance triangle, as shown within Section 4 of this Ordinance. Such fence location shall be subject to approval by the Community Development Director or his / her designee. (*Ord. No. 623*)
  2. On corner lots and through lots, a four (4) foot chain-link fence that is less than ten (10) percent opaque or ninety (90) percent transparent may be placed along the secondary street frontage.
  3. Fences permitted past the front corner of the principal structure shall meet the height requirements as specified within this Section. Chain-link fences shall not be permitted within the front yard. A decorative fence is the only type of fence permitted past the front corner of the principal structure and shall have an opaqueness of no greater than 50%.
  4. Screening fences, as required by Chapter 227, Article II of the City Code of the City of Isanti; for screening of stored recreational vehicles within the side or rear yard shall meet one of the following acceptable screening options: (*Ord. No. 608*)
    - a. A fencing screen per Subdivision 4(A) of this Section and shall obscure from view at ground level any neighboring property or public street by at least 80% of the area.
    - b. Installation of a planting screen. Where natural materials, such as trees or hedges are approved in lieu of required screening by means of walls or fences, density and species of planting shall be such to achieve 80% opaqueness year-round from view at ground level at any neighboring property or public street.
      - (1) Acceptable plantings include arborvitae, upright juniper, upright yew, fountain hemlock, or other species approved by the Zoning Administrator.
      - (2) Plants shall be 4'-5' in height when purchased for installation.
      - (3) Plantings must be spaced within half the plants spread at maturity.



- (4) Plant material centers shall not be located closer than three (3) feet from a side or rear property line or twelve (12) feet from a front property line and shall not be planted to conflict with public plantings, drainage and utility easements, sidewalks, trails, fences, parking areas, and driveways based on the judgment of the Community Development Director or his/her designee.
- (5) All planting screens shall be reviewed and approved by the Community Development Director or his/her designee.
- (6) Planting screens shall be maintained in a healthy condition. Dead material shall be removed and replaced within thirty (30) days upon written notice of the Community Development Director or his/her designee.

**FIGURE 13: Fence Opacity**



- C. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed-wire fencing is prohibited in all non-industrial districts.
- D. Setbacks.
  - a. On corner lots or lots adjacent to railroad right-of-ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.
  - b. Privacy fences shall be setback a minimum of two (2) feet from any street right-of-way.
  - c. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.
  - d. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.
  - e. Fences within a storm pond drainage easement **must provide sufficient ground clearance for the free flow of water or be made of chain-link material.** by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.
  - f. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)

### **Subdivision 3: Non-Residential Fences**

- A. Commercial ~~and Industrial~~ properties located in the B-1, B-2, B-3, CBT-1, CBT-2 zoning districts may construct security fences up to six (6) feet in height. Fences in excess of six (6) feet shall require a conditional use permit. Properties located in the I-1 Industrial Park District may construct security fences up to ten (10) feet in height. Fences in excess of ten (10) feet shall require a conditional use permit.

- B. Barbed-wire fencing is permitted in Industrial Districts only. Barbed wire security arms shall be constructed at a minimum of six (6) feet in height. The security arm shall be angled in such a manner that it does not overhang any lot lines.
- C. Prohibited Materials. Fences shall not be constructed from chicken wire, welded wire, snow fence, branches, or materials originally intended for other purposes. Electric fencing and metal sheeting are also prohibited materials. Barbed-wire fencing is prohibited in all non-industrial districts.
- E. Setbacks.
  - a. On corner lots or lots adjacent to railroad right-of-ways, streets or public roads, no fence shall be located in the vision clearance triangle, as shown within Section 4 of this Ordinance.
  - b. Privacy fences shall be setback a minimum of two (2) feet from any street right-of-way.
  - c. Fences shall be located on the property of the owner. All posts and framework shall be placed within the property lines of the fence owner.
  - d. No fence shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the fence and the water shutoff valve must be maintained.
  - e. Fences within a storm pond drainage easement **must provide sufficient ground clearance for the free flow of water or be made of chain-link material.** by using a material such as chain link or by providing a minimum ground clearance of four (4) inches.
  - f. Fences located within storm pond drainage easements shall be reviewed by Public Works and/or The City Engineer. (Ord. No. 647)

#### **Subdivision 4: Non-Residential Screening Fences and Planting Screens**

All commercial and industrial uses and transitional lot areas as stipulated within this ordinance that are required to provide screening shall do so through the use of one of the following, subject to recommendation by the Planning Commission and approval by the City Council.

- A. Screening Fence.
  - 1. Screening fences on properties located in the B-1, B-2, B-3, RC, CBT-1, and CBT-2 zoning districts shall be at maximum of six (6) feet in height with a minimum opaqueness of 80 percent. Screening height shall be measured from the finished grade level.
  - 2. Screening fences on properties located in the I-1 Industrial Park District shall be a maximum of ten (10) feet in height with a minimum opaqueness of 80 percent. Screening height shall be measured from the finished grade level.
  - 3. Screening fences shall be constructed of masonry, brick, wood, chain-link or steel and shall be compatible with the principal building on the site and with the surrounding properties.
  - 4. Screening fences or screening walls shall be setback five (5) feet from the property line.
  - 5. If the property is not adjacent to a street right of way, screening may be placed along the property line, providing mutual written consent has been granted by the abutting property owners and filed along with a copy of the certificate of survey to the City prior to construction.
  - 6. Barbed-wire fencing is permitted in ~~industrial districts~~ the I-1 Industrial Park District only, ~~and~~ provided that the following conditions are met:
    - a. The fencing shall be constructed at a minimum of six (6) feet above ground level.
    - b. The fencing does not overhang any lot lines.
  - ~~7. Screening fences or walls shall be setback five (5) feet from the property line, if a mutual written agreement has not been filed and if the property is not adjacent to a street right of way.~~
  - 8. A combination of coniferous and deciduous trees may be planted to soften the appearance of the fence or wall from adjacent properties or the public street.
- B. Planting Screens.
  - 1. Planting screens shall consist of a row of alternating evergreen and deciduous trees and shrubs. The species and size shall be in accordance with Subdivision ~~5~~ 6, of this Section.
  - 2. The trees shall be placed in such proximity as to form a screen.
  - 3. Planting screens shall be maintained in a healthy condition. Dead material shall be removed and replaced within thirty (30) days upon written notice of the Community Development Director or his/her designee.

**Subdivision 5: Retaining Walls.** Retaining walls exceeding four (4) feet in height, including staged walls which cumulatively exceed four (4) feet in height, must be constructed in accordance with plans prepared by a registered engineer or landscaped architect. Building permits for construction of a retaining wall over four (4) feet are required. Construction of retaining walls under four (4) feet in height require a zoning permit. All retaining walls must be installed according to manufacturer's specifications

A. Setbacks.

1. Retaining walls shall be setback a minimum of five (5) feet from any street right-of-way.
2. Retaining walls shall be located on the property of the owner.
3. No retaining wall shall enclose a water shutoff valve to the interior. A 12-inch minimum separation between the landscaping structure and the water shutoff valve must be maintained.
4. No retaining walls shall be permitted within a stormwater flow path or within storm pond drainage easements.

**Subdivision 5 6: Landscaping Requirements**

- A. Purpose. The purpose of this Subdivision is to provide specifications, which will guide landscaping within residential, commercial, mixed-use, and industrial districts; will provide buffering between different and more intense land uses; will ensure that native trees and vegetation are preserved and replenished ; will aid in the stabilization of the environment's ecological balance by reducing stormwater runoff and improving surface water quality; and will enhance the overall beauty and appearance of the City.
- B. General Requirements.
1. City Tree lists. The following trees may be used to meet planting and landscaping requirements. If other tree varieties are desired; they shall be approved by City Staff.

**TABLE 4: Primary and Secondary Deciduous Tree List**

<b>Primary Deciduous Trees</b>	<b>Common Names</b>
Acer freemanii	Autumn Blaze (Red Maple x Silver Maple)
Acer platanoides (various species)	Norway Maples - Cleveland, Columnar, Crimson King, Emeral Lustre, Emerald Queen, Schwedler, etc.
Acer rubrum	Red Maple
Acer saccharum	Sugar Maple or Hard Maple
Betula nigra	River Birch
Carya ovate	Shagbark Hickory
Celtis occidentalis	Hackberry
Quercus alba	Oak, White
Quercus coceinea	Scarlet Oak
Quercus macrocarpa	Oak, Bur
Tilia Americana	American Linden (aka – Basswood)
Tilia cordata	Littleleaf Linden or Greenspire Linden
<b>Secondary Deciduous Trees</b>	<b>Common Names</b>
Acer pseudoplatanus	Sycamore Maple
Aesculus hippocastanum	Horse Chestnut
Aesculus octandra	Yellow Buckeye
Aralia elata	Japanese Angelica Tree
Betula alleghanie	Yellow Birch
Betula lenta	Sweet or Black Birch
Carpinus betula	European Hornbeam
Carya cordiformis	Bitternut Hickory
Corylus columna	Turkish Filbert

Catalpa speciosa	Northern Catalpa
Fagus	Beech (both North American and European)
Ginkgo biloba	Ginkgo (only male trees permitted)
Gleditsia triacanthos inermis	Honeylocust, thornless or 'Imperial' or 'Skyline'
Gymnocladus dioicus	Kentucky Coffeetree
Junglans nigra	Black Walnut
Liriodendron tulipifera	Tuliptree (best grown w/ sprinkler system)
Phellodendron amurense	Amur Corktree
Quercus rubra	Red Oak
Quercus palustris	Pin Oak
Tilia x euchlora	'Redmond' Linden
Tilia platyphyllos	Bigleaf Linden

**TABLE 5: Ornamental Tree List**

Ornamentals	Common Names
Acer ginnala	Maple, Amur
Acer tataricum	Tatarian Maple (similar to Amur Maple)
Amelanchier	Serviceberry or Juneberry
Carpinus caroliniana	American Hornbeam
Cornus alternifolia	Pagoda Dogwood
Crataegus spp.	Hawthorne 'Winter King' or 'Washington'
Maackia amurensis	Amur Maackia
Malus baccata columnaris	Crabapple, Columnar Siberian
Malus (various species)	Crabapple, flowering – Varieties; Dolgo, Flame, Radiant, Red, Silver, Red Splendor
Ostrya virginiana	Ironwood (aka – American Hophornbeam)
Prunus cerasifera	'Newport' Plum, Newport
Prunus maackii	Amur Chokecherry
Prunus triloba	Plum, flowering or Rose Tree of China
Prunus virginiana	'Schubert' Chokecherry, Schubert's
Syringa reticulata	Japanese Tree Lilac

**TABLE 6: Coniferous Tree List**

Conifers	Common Names
Abies balsamea	Fir, Balsam
Abies concolor	Fir, Concolor
Larix laricina	Tamarack
Picea abies	Spruce, Norway
Picea glauca	Spruce, White
Picea glauca densata	Spruce, Black Hills
Picea pungens	Spruce, Colorado Green
Picea pungens	'Glauca' Spruce, Colorado Blue
Pinus nigra	Pine, Austrian
Pinus ponderosa	Pine, Ponderosa (may not be hardy)
Pinus resinosa	Pine, Norway (aka – Red Pine)
Pinus strobus	Pine, White
Pinus sylvestris	Pine, Scotch
Pseudotsuga menziesii	Fir, Douglas
Thuja occidentalis	Arborvitae
Thuja occidentalis	'Techny' Techny Arborvitae

**TABLE 7: Permitted Trees Not Meeting Landscaping Requirements**

<b>Allowed – but not used to meet requirements</b>	
Acer saccharinum	‘Silver Queen’ Maple, (still weak limbs/large roots)
Aesculus glabra	Ohio Buckeye (questionable – mildew, blight, leaf scorch all of which may disfigure)
Betula papyrifera	Birch, Paper (questionable – birch borer – understory)
Elaeagnus angustifolia	Russian Olive
Morus (Rubra and Alba)	Red and White Mulberry
Populus tremuloides	Quaking Aspen
Quercus bicolor	Oak, Bicolor (recategorized because it prefers clay soil)
Robinia pseudoacacia	Black Locust
Salix	Willow
Ulmus Americana	American Elm (recategorized – Dutch Elm Disease)
Rhus	Sumac

**TABLE 8: Prohibited Trees**

<b>Not allowed to be planted within the City</b>	
Acer negundo	Boxelder
Betula pendula	‘Dalecarlica’ Birch (aka – cut leaf weeping)
Rhamnus	Buckthorn
Ulmus pumila	Siberian Elm
Populus	Poplar
Populus deltoids	Cottonwood

- ~~2. All properties shall provide one (1) tree per fifty (50) feet of lot frontage, or fraction thereof.~~
- ~~3. Deciduous trees shall be two and one half (2.5) inches in diameter and Coniferous/Evergreen trees shall be six (6) feet in height above the root ball at the time of installation.~~
- ~~4. All trees shall be measured according to American Standards for Nursery Stock.~~
- ~~5. No more than fifty (50) percent of the required trees provide on the property may be of the same species.~~
6. Underground sprinkler systems.
  - a. Sprinkler systems shall be provided as part of each new development for all landscaped areas, except those areas on the property that will be preserved in their natural state.
  - b. Single-family and two-family dwellings as well as additions to existing structures, in which the addition will not exceed the floor area of the existing structure, are exempt from this provision.
  - c. On all lots, the City may permit alternative landscaping options, which may not require an irrigation system. Such alternative options shall be reviewed by the Planning Commission. Alternative landscape options include, but are not limited to, rock gardens, **natural prairie grass**, and rain gardens.
7. Tree Preservation Requirements.
  - a. A reasonable attempt shall be made to preserve as many existing trees as practicable on a property.
  - b. Existing trees identified to be preserved shall be protected by orange snow fencing. The fencing shall be installed at the dripline and shall remain in place throughout the construction process, from excavation to the completion of the landscaping.
  - c. No construction materials or equipment shall be located within the fenced area. Grade changes within the fenced area are prohibited. Soil compaction in the critical root zone or damage to trunks or limbs shall be avoided.
  - d. Should the property owner, developer, or homeowner fail to install or maintain tree protection fencing; existing trees located on the property shall not be counted towards the landscaping requirements.

- C. Residential Requirements. In addition to the general requirements noted, properties located within residential districts, shall be subject to the following regulations.
1. Soil Requirements. All disturbed areas that are not planned to receive an impervious surface shall be graded and finished with a minimum layer of four (4) inches of Premium Topsoil that is screened, pulverized and in compliance with the requirements as defined by MNDOT specifications Section.
    - a. The topsoil shall be hauled from a pre-approved source certified by the Minnesota Department of Transportation or the material shall be tested by an independent laboratory hired by the applicant. Any material tested that is not within MNDOT standards will be considered not in compliance and rejected from use within the City limits.
    - b. A certificate or written verification shall be provided to the Building Official, which includes the name of the certified site in which the soil was purchased, the type of soil, and the purchase date.
    - c. No credit will be given for soil thickness associated with the soil attached to the root zone of sod rolls. Any area receiving sod shall be graded with four (4) inches of premium topsoil before the sod is placed.
  2. Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. ~~The Building Official may waive this requirement upon inspection of the property.~~
  3. Tree Requirements. The following quantity and type of trees are required, unless otherwise set forth in the development agreement or conditions thereof for the coinciding Planned Unit Development.
    - a. All residential properties shall provide a minimum of two (2) trees.
    - ~~b. Residential lots exceeding 8,000 square feet in area shall provide a minimum of three (3) trees upon the property. Corner lots and lots exceeding 12,000 square feet in area shall provide a minimum of four (4) trees.~~
    - ~~c. When calculating the number of required trees, whether based upon lot area or lot frontage, the greater of the two shall be provided.~~
    - d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. ~~If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species.~~ Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.
  4. Tree Location.
    - a. Each tree shall be planted a minimum of five (5) feet from the public right-of-way.
    - b. The majority of trees shall be planted in front of the primary structure. For corner lots, trees may be planted along the secondary street frontage.
  - ~~5. Tree Substitutions.~~
    - ~~a. Conifers and deciduous trees found on the City's Secondary Tree list may be substituted for a Primary Tree at a ratio of 3:2.~~
    - ~~b. If smaller trees are utilized, one and one-half (1.5) inch Primary Trees may be substituted at a ratio of 2:1 for full-sized trees.~~
    - ~~c. Secondary or Ornamental trees, one and one-half (1.5) inches in diameter or four (4) foot-tall conifer trees may be substituted at a ratio of 3:1 for required full-sized Primary trees.~~
  6. Maintenance of Landscaping.
    - a. The owner or tenant shall be responsible for the maintenance of landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris.
    - b. Trees and ground cover that are required by this Ordinance or by an approved site or landscape plan and which have died or have been removed shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.
  7. Decorative Landscaping. This includes flower beds, rock gardens and any planting(s) or structures other than established turf.
    - a. Any planting or decorative items placed in any right of way and/or easement is the reasonability of the property owner to maintain.
    - b. The City will not be held liable for any damage to any planting or decorative items placed in

- any right of way and/or easement, all costs associated with any damage or loss of such decorative landscaping shall be the responsibility of the property owner.
- c. The City may require resident to move landscaping due to unforeseen circumstances, If City must remove the property owner will incur all associated costs.
- d. Natural prairie grass must follow the recommendations listed on the MN Board of Water and Soil Resources website for Pollinator Lawns and must be approved by City staff prior to planting.

D. Non-Residential Requirements. In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations.

1. Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, professional hydro-seeding, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.
2. Parking Lot Landscaping.
  - a. ~~All parking lots containing over fifty (50) stalls shall be designed to incorporate unpaved, landscaped islands in number and dimension as required by the City. All landscape islands shall contain a minimum of 180 square feet.~~
  - b. Islands, which are necessary to promote the safe and efficient flow of traffic shall be in addition to those required for parking lots with over fifty (50) stalls and shall be required by the City when warranted.
  - c. Parking lot landscape areas, including landscape islands, shall be reasonably distributed throughout the parking lot area so as to break-up expanses of paved areas.
  - d. Parking lot landscape areas shall be provided with deciduous shade trees, ornamental trees, evergreen trees, ground cover, mulch and/or shrubbery as determined appropriate by the City Council. Parking lot landscaping shall be contained in planting beds bordered by raised concrete curbs. Alternative landscape options may include, but are not limited to natural prairie grass or rain gardens.
3. Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.
4. Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.
5. Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. ~~The Building Official may waive this requirement upon inspection of the property.~~
6. Tree Requirements.
  - a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
  - b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The City may approve an alternative if such alternative appears to meet the intent of this article.
  - c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
  - d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

E. Escrow Requirements.

1. The City of Isanti requires all required landscaping as defined in this ordinance to be completed prior to the issuance of a Certificate of Occupancy. If a Certificate of Occupancy is requested prior to completion of required landscaping, a landscape escrow in the amount adopted per the City fee schedule is required.
2. The City will deposit the money into an escrow account and hold until such time that work is completed, or --- months, whichever comes first.
3. The escrow account is established through a receipt of escrow in which the aforementioned terms are stated and acknowledged by the payee.
4. Upon completion of the required work, the payee is required to contact the City to schedule required inspections. Once the City has approved the topsoil and the trees/yard inspections, the Finance Department is notified to release the escrow back to the party that posted it originally.
5. Upon failure to comply to landscape requirements within --- months of receipt of the escrow payment, the City will complete landscaping as required using escrow funds. Any expenses incurred to complete the required topsoil, trees, and turf over and above the withheld escrow will be the responsibility of the escrow account holder and billed accordingly.