



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, June 21, 2022
Immediately following 7:00pm City Council Meeting
CITY HALL**

1. Meeting Opening

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt the Agenda

2. Meeting Minutes

- A. Approval of Minutes from the May 17, 2022 Special PC Meeting
- B. Approval of Minutes from the May 17, 2022 Planning Commission Meeting

3. Public Hearing

- A. Request by RK Unlimited Properties, LLC for Site Plan Approval under City Ordinance 445, Section 18, said request is for a manufacturing facility located in the I-1 Industrial Park District at 605 E Dual Blvd NE for Unlimited Welding.
- B. Request by State Storage Shafer, LLC for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2 and Site Plan approval under City Ordinance 445, Section 18, said request is for a Self-Storage Facility located in the I-1 Industrial Park District at 501 W Dual Blvd NE.

4. Other Business

5. Discussion Items

6. Adjournment

CITY OF ISANTI

SPECIAL MEETING OF THE PLANNING COMMISSION

TUESDAY, May 17, 2022

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 6:00 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.
Members Absent: Alexander Collins
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, Finance Director Mike Betker, City Clerk Jaden Strand, City Administrator Josi Wood
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

2. Business

- A. Request by Semler Construction Inc for approval of a Planned Unit Development Preliminary Plat under City Ordinance 740, said request is for a 44-lot housing development named Rum River Villas located at PID 16.111.0600.
CD Director Hillesheim presented the item for the Preliminary Plat of Rum River Villas. It was discussed that at the previous Planning Commission Meeting, Semler Homes had requested that the development included 53 lots. The number was reduced down to 44 lots to meet the density requirements of the R-1 zoning district which was requested by the Planning Commission. It was determined that 44 lots are the maximum amount of lots this 14.94-acre development could have, while being within the 0-3 lots per acre category of Low-Density Single Family Residential. Mayor Johnson stated that he likes the updated preliminary plat a lot better now that it has less lots and fits in the zoning district. Discussion was had regarding a privacy fence that would be placed in the rear yards from lots separating Ironwood Ct from the development. City Administrator Josi Wood said that it would not be best practice to make the developer install this fence as a condition for the development approval. Collison questioned whether the PUD lot sizes could be altered from the preliminary plat to the final plat. Hillesheim said that the lot sizes would have to meet the minimums regardless but that the preliminary plans are the general concept for the development. Bergley commented that he believes the developers have done their due diligence on taking into account the concerns of the Planning Commission from the previous meeting. Bergley made a motion to approve the proposed preliminary plat and the motion was passed 4-2. Simon and Lundeen abstained their votes.

3. **Adjournment:** Motion by Collison, 2nd by Bergley to adjourn, motion passed 6-0, meeting adjourned at 6:14 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

DRAFT

CITY OF ISANTI

PLANNING COMMISSION MEETING

TUESDAY, May 17, 2022

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:16 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins
Members Absent: None
Staff present: Community Development Specialist Ryan Saltis, Community Development Director Stephanie Hillesheim, City Administrator Josi Wood
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 7-0.

2. Meeting Minutes

- A. Approval of Minutes from the April 19, 2022 Planning Commission Meeting motion by Lundeen, second by Collison motion passes 7-0.

4. Public Hearing

- A. Request by Black Moon Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 401 E Dual Blvd NE.

Saltis presented the request for an Interim Use Permit for a Tattoo Parlor in the B-2 District for Black Moon Tattoo. It was explained that City Staff was notified of a tattoo parlor operating within the Dual Square Mall without an Interim Use Permit. Staff contacted the owner of Black Moon Tattoo and they applied for an IUP in order to be compliant with the city's zoning ordinances. The applicant, Gabriel Morton, was present at the Planning Commission Meeting and available for questions. The applicant stated that he wasn't aware that a Tattoo Parlor was an interim use in this zoning district and he had thought it was a general business use which is permitted in this zoning district. Mayor Johnson read aloud a letter from Stacy Upton, the owner of Idle Hands Tattoo. The letter stated that the applicant is not licensed by the State of Minnesota and that he did not do his due diligence before opening his tattoo shop. Stacy Upton was present at the meeting and described her letter in further detail and that she has concerns about the tattoo shop's licensing. City Staff reminded the Planning Commission that the purpose of the meeting is to approve an Interim Use

Permit and that these requirements are to protect the neighboring businesses. Obtaining state licensing was also written in the conditions of approval for the IUP. The public hearing closed and the Planning Commission discussed the permit. It was determined that staff would issue the applicant a cease-and-desist letter for operations until an IUP is granted by the City Council and that the term length of the permit would be 1 year. Motion for approval of the IUP with a term length of 1 year and conditions listed in the staff memo was made by Lundeen and seconded by Gordon, motion passed 7-0.

B. Request by Idle Hands Tattoo for approval of an Interim Use Permit under City Ordinance 445, Section 21, Article 3, said request is for a Tattoo Parlor in the B-2 General Business District located at 303 Credit Union Dr NE

Saltis presented the request for an Interim Use Permit for Idle Hands Tattoo. It was explained that the Interim Use Permit that was approved in 2019 was expiring in June of 2022. The term of expiration is granted by the Planning Commission and City Council. Mayor Johnson commended Idle Hands Tattoo for recognizing that their Interim Use Permit was expiring and applying to renew the permit before it expired. Discussion was had for whether the IUP term length wanted to be extended to 5 years. The Planning Commission thought that this term length might be too long and that they should revisit the IUP in another 3 years similar to the applicant's last permit. Motion was made to approve the Interim Use Permit for a 3-year term by Collison seconded by Simon, motion passes 7-0.

C. Request by the Economic Development Authority of the City of Isanti to vacate certain drainage and utility easement dedicated to the City of Isanti. The legal descriptions of certain drainage and utility easement; which are subject of the vacation herein include:

The drainage and utility easement, as dedicated and delineated within Outlot H, ISANTI CENTENNIAL COMPLEX, according to the recorded plat thereof, Isanti County, Minnesota.

Hillesheim explained the request in that there is a drainage and utility easement in Outlot H of the Isanti Centennial Complex. It was explained that the purpose of this is to clean up the plat by vacating this easement and new easements would be created for the trail, but that staff would like to see the lines on the plat disappear to make it easier in the long run. There was no one from the public to speak at the public hearing. Motion to approve the vacation for the drainage and utility easement by Lundeen and seconded by Collins, motion passed 7-0.

- D. Request by the Economic Development Authority of the City of Isanti for a Preliminary Subdivision Plat, pursuant to City Ordinance 740, to split PID 16.09.00140 into 5 parcels, located in the I-1 Industrial Park Zoning District.

Hillesheim explained that the city owns 66 acres of Industrial Zoned land and that there is increased demand in Industrial lots in the city and space is running out. The added lots comply with the I-1 District. Utilities would not be extended due to costs and stormwater would be managed per lot. No one from the public was present to speak on this item. Motion was made to approve the preliminary subdivision plat by Lundeen seconded by Collison, motion passed 7-0.

5. Other Business: None

6. Discussion Items: None

7. Adjournment: Motion by Collison, 2nd by Lundeen to adjourn, motion passed 7-0, meeting adjourned at 8:09 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 21, 2022

SUBJECT: Site Plan Review for an Industrial building located at 605 E Dual Blvd NE for RK Unlimited Welding

Request: The applicant, RK Unlimited Welding is requesting site plan approval for an Industrial building located at 605 E Dual Blvd NE.

Overview/Background: The applicant proposes to construct a 30,000 sq ft building on a 5.01-acre vacant lot located at 605 E Dual Blvd NE in the City’s Industrial Park. This is a shovel ready site and was once part of a 15.03-acre parcel until it was split into three separate 5.01-acre parcels.

These parcels are currently zoned I-1 Industrial Park District in which “Light Manufacturing” and “Warehousing” are permitted uses. The proposed building is intended to be 30,000 sq ft and include offices, a conference and break room, six bathrooms and a large 25,000 square foot warehousing space. The site is proposed to provide 52 total parking stalls.

Analysis of Application: The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

Setbacks – Principal Building

Minimum Front Yard Setback	There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.
Minimum Side Yard Setback	There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.
Minimum Rear Yard Setback	30 feet

The proposed buildings will be located over 30 ft from the front property line and will be setback over the required 15 ft minimum for the sides. The rear of the building will be at least 30 ft from the north property line. The proposed building will meet all required setbacks for the I-1 zoning district.

Impervious Surface Coverage

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter.

Impervious surfaces on site will include the building, paved bituminous parking lot and concrete sidewalk surfaces. The total impervious area proposed on site is 93,700 square ft and total lot area is 218,160 square ft ($93,700 / 218,160 = 43\%$ impervious surface). The site will consist of roughly 57% green space and the impervious surface requirements will be met.

If future development or paving occurs on the site, the impervious surface maximum of 75% shall be considered again at the time of site plan review.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and driving surfaces are proposed to be surfaced with a Bituminous Material. Concrete sidewalks are proposed around the perimeter of the building.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around the perimeter of the parking lot and paved area on site and proposes to end on the west. The city engineer addresses the curbing in their memo that it will have to extend around the full perimeter of the site.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

Number of Required Parking Spaces

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

REQUIRED PARKING SPACES

OFFICE: 1 SPACE PER 250 SF - 5100 SF / 250 = 20 SPACES

WAREHOUSE: 1 SPACE PER 1500 SF - 24900 SF / 1500 = 17 SPACES

Based on the proposed use and total square footage of the proposed building, 37 parking spaces are required for the 30,000 square foot building. Three stalls are required to be handicap accessible based on the total number of proposed parking stalls. The site plans for the building shows 52 parking stalls total, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use but will have to add 1 more handicap accessible parking space to be compliant with ADA standards (1 space per 25 parking stalls).

Stall, Aisle and Driveway Design

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will have two-way traffic for the parking areas in front of the proposed building. Stall dimensions are shown as 9 feet in width and 20 feet in length and follow this requirement. The drive aisle widths around both parking areas are proposed at 24 feet. Based on the parking lot chart above, these drive aisle widths will need to be at minimum 26 feet. Staff suggests reducing the parking stall lengths from 20 ft to 19 ft on both sides to gain 2 more feet for the drive aisle width.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

A photometrics plan was submitted for review of foot candle readings on site which measures intensity of proposed lighting upon neighboring properties. The photometrics plan meets the outdoor lighting standards for foot candle readings in that they do not exceed 5 foot candles measured at the street curb line or non-residential property line nearest the light source.

The photometric plan shows two lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. Based on the lighting plan, there is a 0.0-foot candle reading over the interior parking stalls on the site. Staff requires a downlit freestanding light pole be installed to illuminate these parking stalls for safety.

All light sources proposed on site will have to meet criteria listed in Section 14, Subd. 5 of the City Zoning Ordinances.

Building Design and Construction

Exterior Building Materials

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
 - 1. Face brick
 - 2. Natural stone
 - 3. Glass

4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
5. Factory fabricated, finished 26 Ga. Metal panel
6. Decorative concrete block approved by the City Council.
7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewall height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

Exterior building materials mostly include prefinished metal panels for the roofing and siding of the building. According to architectural plans, there is no proposed wainscoting to complement the metal panels for the exterior of the building. The wainscoting should be placed on the two sides that are facing the roadways, on the south and east of the building. Wainscoting is required to be one-third of the sidewall height and consist of face brick, natural stone, or decorative concrete block. Colors for the building materials were not specified on architectural plans but will need to complement surrounding structures in the Industrial District.

Screening, and Landscaping

- A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.
1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

Mechanical equipment is not displayed on site plans. If outside mechanical equipment is proposed it shall be displayed on site and landscaping plans to review the location and screening from adjacent properties.
 2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

The exterior elevations on the south of the building show two garage doors that may be used for loading. The building orientation will be facing south toward the road and the east of the site will be facing East Dual Blvd. There are existing trees on the southwest of the site that will shield the building and loading area

from the business to the west of the site. There are no surrounding residential areas near the site and will not have to be shielded from view.

Landscaping

Non-Residential Requirements: In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at

least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

Landscaping plans were missing from the submittal package and were not submitted for review at this time. The City Landscaping Ordinance requires that the site have at least 1 tree per 50 ft of lot frontage. There is roughly 800 ft of street frontage on this corner lot ($800 / 50 = 16$ trees minimum). Trees should be various species and be in accordance with the City Tree Lists. All other areas on site that are disturbed by construction must include sod. All landscaping plans shall be consistent with Section 15 of the City Zoning Ordinances and submitted to staff to review compliance.

Refuse and Trash Receptacle Enclosures

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.
 - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

There are no trash enclosures proposed on plans submitted. The location of the trash enclosure shall be designated on site plans for the review of city staff. Architectural plans of the trash enclosure shall also be submitted to ensure the building materials meet city ordinances. The trash enclosure will need to be illuminated for the safety of employees and the submitted photometrics plans will be reviewed to ensure proper lighting is used for the location of the enclosure. The trash enclosure will be reviewed to the standards set in Section 14, Subd. 3 of the City’s Zoning Ordinances.

Signs

Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.

Staff Recommendation: Staff recommends approval of the two proposed Industrial buildings located at 687 and 703 East Dual Blvd NE with the following conditions:

1. The site shall provide at least 3 handicap accessible parking stalls per ADA requirements
2. A trash enclosure shall be provided on site plans and reviewed by city staff for location, building materials, lighting etc. The trash enclosure shall follow City Zoning Ordinances Section 14, Subd. 3.
3. Wainscoting shall be placed on the east and south sides of the building and shall follow Section 8, Subd. 13 of the City's Zoning Ordinances for exterior building materials
4. Landscaping Plans shall be submitted for review by city staff and follow Section 15 of the City's Zoning Ordinances
5. All lighting features on site shall be downlit and follow Section 14, Subd 5 Outdoor Lighting Design Standards
6. A downlit freestanding light pole shall be installed for the parking area in the middle of the site
7. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
8. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
9. All conditions/comments listed in the City Engineer's memos dated 6/3/2022 shall be addressed

Attachments:

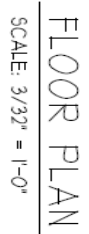
- Site Plans
- Floor Plans
- Exterior Elevations
- City Engineer's Memo Dated 6/3/2022
- Fire Chief Memo Dated 6/15/2022



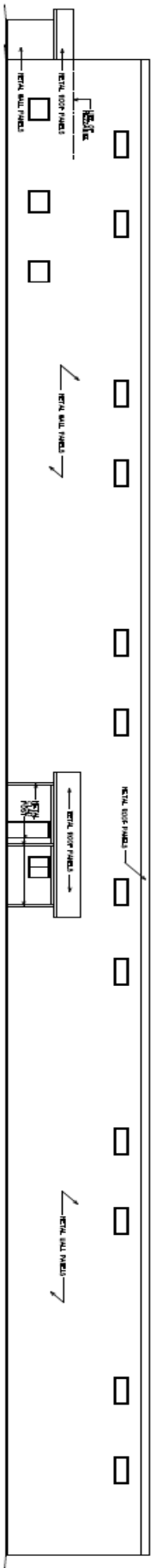
Project: RK Unlimited Welding

Does this project meet the standards of the current Zoning District?	Yes, the site is located in the I-1 Industrial Park District and the project meets the standards set by this zoning district
Are any Conditional Use Permits, Interim Use Permits or Variance applications required with this project? (If Yes, what for?)	No
If the previous question was answered “Yes”, are all criteria for a CUP, IUP, or Variance met?	N/A
Does this project follow the goals of the City’s Comprehensive Plan?	Yes, the warehousing building is complementary of surrounding uses and businesses in the Industrial Park and will provide jobs to people in the community
Does staff recommend approval? Are there any recommended conditions for this project?	<p>Staff recommends approval with the following conditions:</p> <ol style="list-style-type: none">1. The site shall provide at least 3 handicap accessible parking stalls per ADA requirements2. A trash enclosure shall be provided on site plans and reviewed by city staff for location, building materials, lighting etc. The trash enclosure shall follow City Zoning Ordinances Section 14, Subd. 3.3. Wainscoting shall be placed on the east and south sides of the building and shall follow Section 8, Subd. 13 of the City’s Zoning Ordinances for exterior building materials4. Landscaping Plans shall be submitted for review by city staff and follow Section 15 of the City’s Zoning Ordinances5. All lighting features on site shall be downlit and follow Section 14, Subd 5 Outdoor Lighting Design Standards

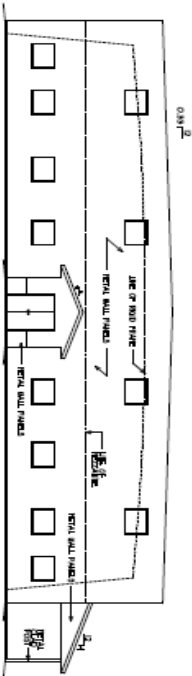
	<ol style="list-style-type: none">6. A downlit freestanding light pole shall be installed for the parking area in the middle of the site7. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances8. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.9. All conditions/comments listed in the City Engineer's memos dated 6/3/2022 shall be addressed
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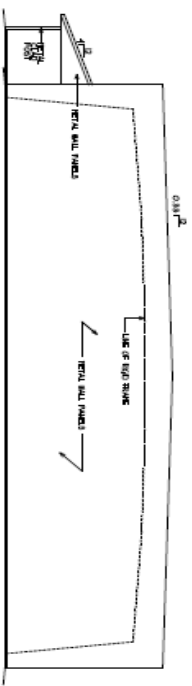
SCALE: 3/32" = 1'-0"



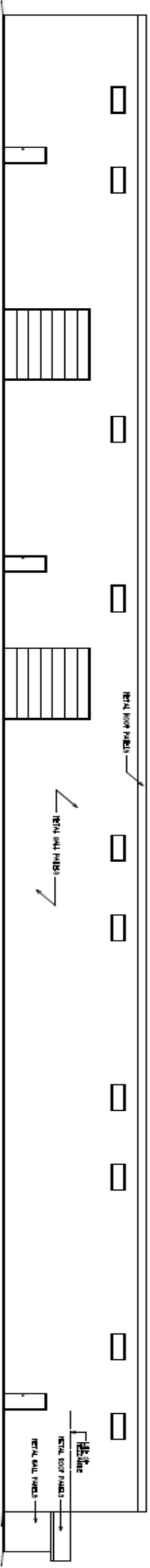
NORTH ELEVATION
SCALE 3/8" = 1'-0"



EAST ELEVATION
SCALE 3/8" = 1'-0"



WEST ELEVATION
SCALE 3/8" = 1'-0"



SOUTH ELEVATION
SCALE 3/8" = 1'-0"



Real People. Real Solutions.

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MEMORANDUM

Date: June 3, 2022
To: Stephanie Hillesheim, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: RK Unlimited Welding – Site Plan Review
City of Isanti, MN
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Unlimited Welding & Fabrication” with a preliminary check set date of 5/26/2022.

The plan includes the construction of a new building, parking lot and a storm sewer system with two ponds.

We have reviewed the submitted documents and have the following comments:

Site Plan:

1. Sheet CS 1 of 1 Site Plan:
 - a. Curb & gutter shall be constructed around the full perimeter of the new pavement including the west side of the site. Either build the full parking lot now, or curb along the edge of the proposed limits of this phase.
 - b. Construct valley gutter on East Dual Boulevard – (see attached detail)
2. Sheet C 3 of 6 – Grading & Drainage Plan:
 - a. The storm water ponds will need to have an impervious liner to ensure no infiltration occurs and the dead storage is maintained.
 - b. Submit engineered wall design to ensure future building expansion footing depth and wall anchoring will not conflict, Or will the wall not be constructed until the future building expansion occurs at which point it could be designed at that time.
3. Sheet C 4 of 6 – SWPPP Notes:
 - a. Submit pond maintenance plan.
 - b. Submit NPDES Permit to City prior to beginning work.
 - c. Submit City SWPPP checklist (attached)
4. Sheet C 5 of 6 – SWPPP - Plan View:
 - a. All turf establishment outside of the proposed pond embankment slopes shall be sod, not seed, per City standard.
5. Sheet C 6 of 6 – Utility Plan:



Real People. Real Solutions.

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Ramsey, MN 55303-5119

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Fax: (763) 427-0833
Bolton-Menk.com

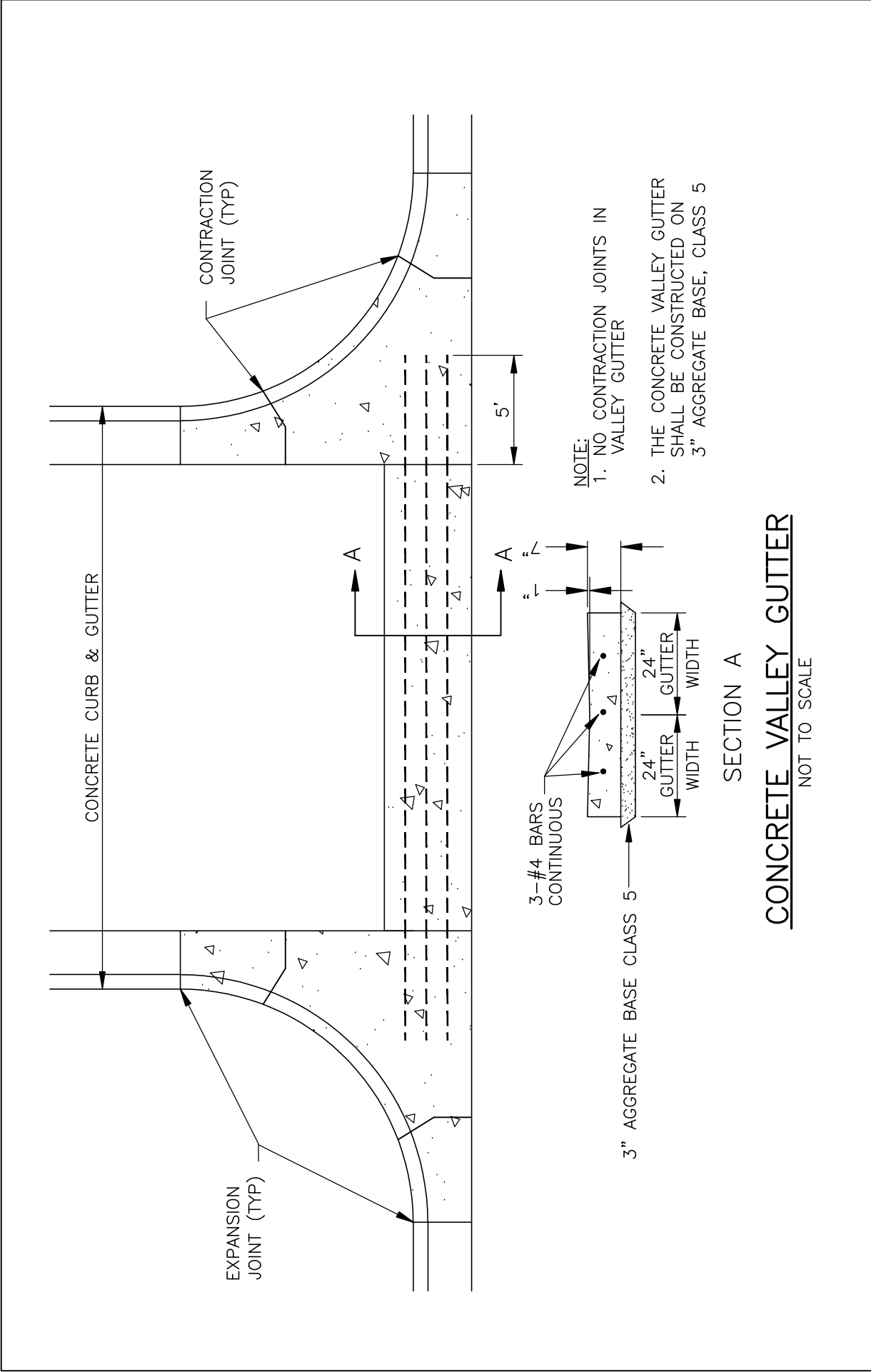
- a. Connect to existing sanitary sewer stub to avoid cutting into street – (see attached record drawing)
6. Sheet A010 – Site Plan & Details
 - a. Large “future parking and drive” area appears to be over existing ditch and drainage & utility easement. Confirm this is not needed for the future building expansion, or describe plan to maintain ditch flow with future parking expansion.

Stormwater Modeling:

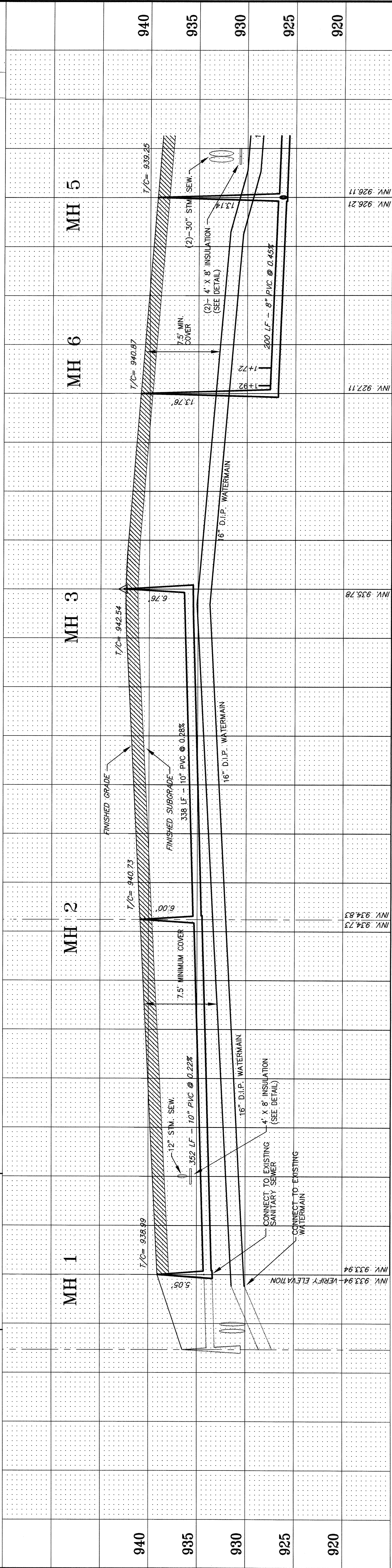
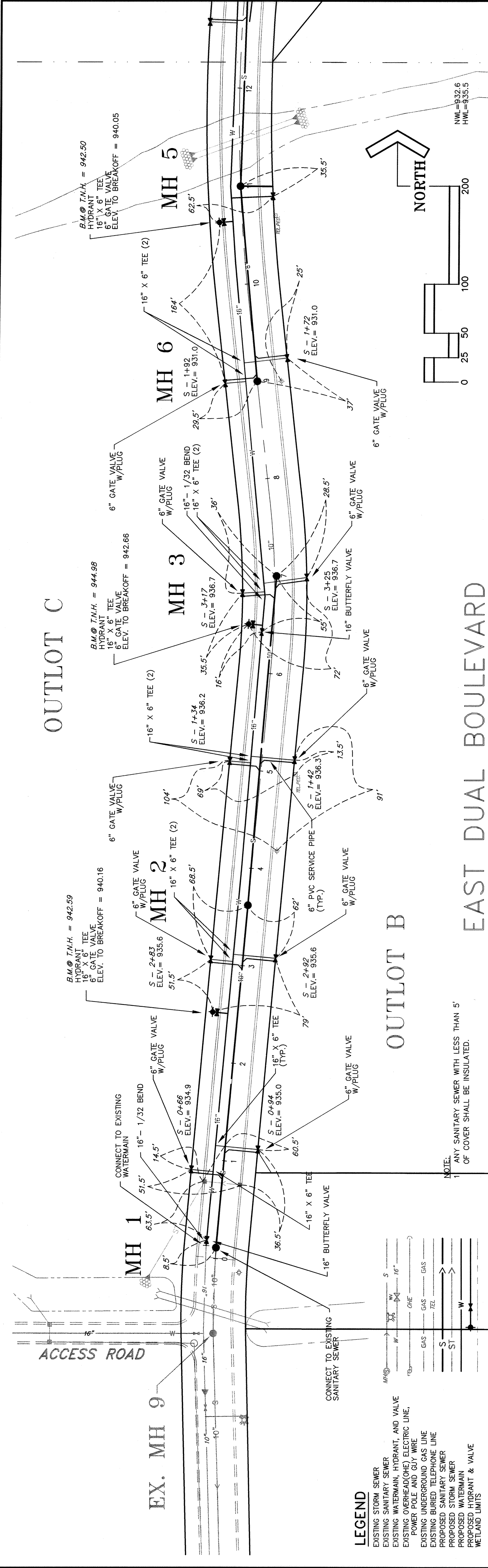
1. Submit subcatchment maps for the existing and proposed models.
2. Confirm proposed ponds are sized for the ultimate build out of the site, not just the first phase.
3. Use Atlas-14 storm event modeling.
4. Submit summary table of 2, 10, and 100 year storm event flow rates pre and post development.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL:	DATE:	DETAIL LOG	
			STDS COMM.	SPRING, 2006	REVISIONS:	DATE:
PATH: Y:\7-100		REMARKS:				
ORIG. PROJ:						
PROJ. #:	ENG/TECH:					



REVISIONS

No.	Date	By	Remarks
A	01/17/05	AKF	RECORD PLAN REVISION

CONTRACTOR: HYDROCON, INC.

RECORD PLAN: 2004

Project

2003 Centennial Industrial Park
Street & Utility Improvements
Isanti, MN

Client

City of Isanti
Isanti, MN

Engineering • Planning • Surveying

MFRA
McConits Frank Roos
Associates, Inc.

15050 23rd Avenue North • Plymouth, Minnesota • 55447
phone 763/476-6010 • fax 763/476-8532
E-Mail: mfra@mfra.com

Scale 1"=50'

Designed	DLK
Drawn	MRD
Date	1/15/03
Checked	DLK
Approved	JJR

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signature *Jeffrey V. Roos*

Name **JEFFREY V. ROOS**

Date 3/10/03 License # 10206

Sheet Title

Utility Plan
Plan & Profile

Sheet

7 / 19

A

Revision

MFRA FILE NO.: 13938



SWPPP Checklist

Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

Background: This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

Site Information

Applicant: _____ Project name: _____

Application date: _____ Reviewer name: _____

SWPPP Narrative

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity? |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site? |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP. |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets) |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas? |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | For design requirements or SWPPP components where Permittee determines that compliance with the requirement is infeasible; the SWPPP must document that determination and the substitute BMPs. |

SWPPP Plan Sheets

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction). |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones). |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope). |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

Stormwater Discharge Design

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site? |
-
- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting? |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown? |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation? |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway? |

Which method of permanent stormwater treatment has been selected?

Yes No

☐ ☐ Are calculations/computer model results included to demonstrate the design and adequacy?

☐ ☐ Is adequate maintenance access provided?

☐ ☐ Infiltration or filtration

Yes No

☐ ☐ Is infiltration/filtration appropriate to the site and land uses?

☐ ☐ Phasing to ensure excavation of infiltration system after drainage area stabilized?

☐ ☐ Rigorous sediment and erosion controls to keep sediment and runoff away from the system?

☐ ☐ Is a pretreatment device planned?

Yes No

☐ ☐ Wet sedimentation basin:

Yes No

☐ ☐ Configured so scour or resuspension is minimized and to prevent short circuiting.

☐ ☐ Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond

☐ ☐ Basin outlets designed to prevent discharge of floatables.

☐ ☐ Stabilized emergency overflow.

Yes No

☐ ☐ Regional ponds:

Yes No

☐ ☐ Is written authorization from owner of regional pond included in SWPPP?

☐ ☐ Does regional pond design conform to the permit requirements for wet sedimentation basin?

Other Requirements

Yes No

☐ ☐ Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.

☐ ☐ Minimize disturbance or other techniques to minimize destabilization of steep slopes.

☐ ☐ Has appropriate construction phasing been implemented?

☐ ☐ Exposed soils have erosion protection/cover initiated immediately and finished within 14 days

☐ ☐ Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.

☐ ☐ Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.

☐ ☐ Pipe outlets have energy dissipation within 24 hours of connecting.

☐ ☐ Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.

☐ ☐ Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?

☐ ☐ Are all inlets protected?

☐ ☐ Stockpiles have sediment control.

☐ ☐ Construction site entrances minimize street tracking.

☐ ☐ Plans minimize soil compaction and preserve topsoil.

☐ ☐ 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.

☐ ☐ Is a dewatering plan required?

☐ ☐ Storage, handling, and disposal of construction products, materials, and wastes.

☐ ☐ Fueling and maintenance of equipment or vehicles; spill prevention and response.

☐ ☐ Vehicle and equipment washing.

☐ ☐ No engine degreasing allowed on site.

☐ ☐ Containment of Concrete and other washout waste.

☐ ☐ Portable toilets are positioned so that they are secure.

☐ ☐ Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).

Requirements of Appendix A

Yes No

☐ ☐ Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water?

Yes No

☐ ☐ Stabilization initiated immediately and all soils protected in 7 days

☐ ☐ Provide temp basin for five acres draining to common location.

☐ ☐ 100-foot buffer

☐ ☐ Other as appropriate

Wetland Impacts

Yes No

☐ ☐ Does this site have a discharge with the potential for adverse impact to wetlands:

Yes No

☐ ☐ Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?

June 15, 2022

City of Isanti Planning Commission
110 1st Ave NW
Isanti, MN 55040



RE: 605 East Dual Blvd

City of Isanti Planning Commissioners,

Isanti Fire District has reviewed the proposed welding and fabrication business to be built on parcel 161570030.

Isanti Fire supports the conditions outlined in the 5/26/2022 civil plans ensuring that all construction complies with City of Isanti fire codes; per City of Isanti Code 111-113: *Adoption of MN State Fire Code*.

Sincerely,

A handwritten signature in blue ink, appearing to be "AJ", with a stylized flourish extending to the right.

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 21, 2022

SUBJECT: Site Plan Review and Conditional Use Permit for Gopher State Storage located at 501 W Dual Blvd NE

Request: The applicant, State Storage Shafer, LLC is requesting Site Plan and Conditional Use Permit (CUP) approval for self-storage facilities located at 501 W Dual Blvd NE.

Overview/Background:

The City of Isanti received a site plan and conditional use permit application for a self-storage facility located at 501 W Dual Blvd NE in the Industrial Park District. The site currently has an existing building used as storage on the southwest corner and also holds a fiber optic tower just north of this building. Plans show that the applicant will coordinate with the private utility company to relocate electric fiber and gas.

A Conditional Use Permit is needed for “self-storage facilities” to operate in the I-1 Industrial Park District. CUP standards are set in Section 21 of the Zoning Ordinances and shall be followed to approve the CUP.

The site plans propose four buildings of various lengths and sizes. The buildings are planned to be 7,600 sq ft, 9400 sq ft, 11,600 sq ft, and 10,200 sq ft for a total of 38,800 sq ft of storage space. Based on the exterior elevation plans and garage door counts, there will be roughly 67 separate storage units.

Analysis of Application: The site plan for the storage units shall comply with the following requirements for the I-1 Industrial Park District:

Setbacks – Principal Building

Front Yard There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.

Side Yard There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.

Rear Yard There shall be a rear yard not less than thirty (30) feet in depth.

The orientation of the buildings will be vertical running north and south. This lot is unique based on the access point being on the southeast corner of the site, where West Dual Blvd turns into North Dual Blvd. The eastern most building maintains at least a 30 ft setback from the entrance/property line and a side setback of 15 ft from the east. The building on the far west of the site will be setback at least 30 ft from the property line near the BNSF rail line. The buildings as proposed will meet all setback requirements in the I-1 Industrial Park District.

Impervious Surface Coverage

The total ground area covered by all structures and uses (permitted, accessory, and conditional, including parking lots) on the lot shall not exceed seventy-five (75%) percent.

The site plans show a proposed impervious area total of roughly 62%. This total makes up the self-storage buildings and proposed bituminous surface. A large majority of the pervious surface will be for the stormwater pond on the north end of the site and grassed areas around the perimeter of the curbing.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The driving lanes on site are proposed to be a bituminous surface and are 30 ft in width. The driving lane on the far west of the site is currently proposed at 24 ft in width. City staff requires that this driving lane be widened to at least 27 ft to meet proper site circulation standards.

Fencing and Screening

Fencing and Screening for industrial uses shall be accomplished through the use of either a screening fencing or planning screen, which meets the requirements as stipulated within Section 15 of this Ordinance. The Planning Commission shall review and make a recommendation with final approval granted by the City Council.

There is a chain link fence proposed around the perimeter of the curbed area on site. The site is naturally shielded from surrounding businesses by the existing tree line along the west of the site. The location around the curve of W Dual Blvd along with added landscaping around the entrance makes the self-storage facility fairly hidden from the road and will be largely shielded from the business to the south. More intense shielding would be needed if the site was surrounded by a residential district, but the surrounding uses include the rail line, and two other Industrial businesses.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

A photometric plan was not submitted at the time of the application. A photometrics plan shall be provided to city staff to review lighting designs used on site and the locations of the lights. Lighting designs should follow City Ordinance Section 14, Subdivision 5 Outdoor Lighting Standards.

Building Design and Construction

The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.

Exterior building materials include corrugated steel on all sides and the roofs of the storage units. The floors are wooden ribbed planks that are situated on the frame. The proposed new buildings match the existing self-storage buildings in the Industrial Park Zoning District.

Landscaping.

The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

The site landscaping plan provides a total of 33 new trees of multiple varieties including oaks, arborvitaes, and spruce. Based on the 1 tree per 10,000 square foot standard, the applicants would be required to provide at least 17 trees on the property:

(163,049 sq ft lot / 10,000 sq ft tree requirement = 16.3 trees) Calculation rounds up to 17 trees.

The applicants have provided enough trees and plantings on site to meet the landscaping ordinance.

Turf Requirements.

All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

According to the site landscaping plan, the area that is surrounding the curbing is proposed to be seeded. The city's turf requirements found in Section 15 of the Zoning Ordinances require areas disturbed by construction to be sodded.

Conditional Use Permit.

Self-storage facilities are a Conditional Use and must follow criteria prior to approval. The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The site is guided I-1 Industrial Park District and Self-storage is consistent with industrial development.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
The proposed use is adding self-storage to the site, the storage units meet the purpose and intent of the zoning ordinances found in the Industrial Park District.
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.
The establishment will not be detrimental or endanger the public and will provide additional storage opportunities for residents, enhancing the look of the community in residential neighborhoods.
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.
The conditional use is not intended to diminish or impair surrounding property values in the Industrial Park Zoning District.
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.
The surrounding areas are already developed and the proposed self-storage facility shouldn't have an effect on the orderly development and improvement of surrounding property.
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.
Self-Storage facilities need minimal city services for operations. The utility plans show hook ups available at the street if needed, and the site currently has electric for the existing building on the southwest corner.

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.
The zoning criteria for the Industrial District will be met for the proposed use of self-storage.
8. The conditional use complies with the general and specific performance standards as specified by within this Article.
The proposed self-storage facility meets the performance standards specified in this article.

Staff Recommendation: Staff recommends approval of the Site Plan and Conditional Use Permit for the self-storage facilities with the following conditions:

1. The applicants shall submit a site photometrics plan and the lighting designs used shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
2. All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances.
3. Landscaping shall follow Section 15, Subd. 5 of the City Zoning Ordinances for Turf Requirements.
4. Applicant shall apply for all permits associated with the building of the self-storage facilities including but not limited to a building permit, mechanical permit, plumbing permit and electrical permit.
5. Any comments requested in the City Engineer's Memo, dated June 3, 2022.

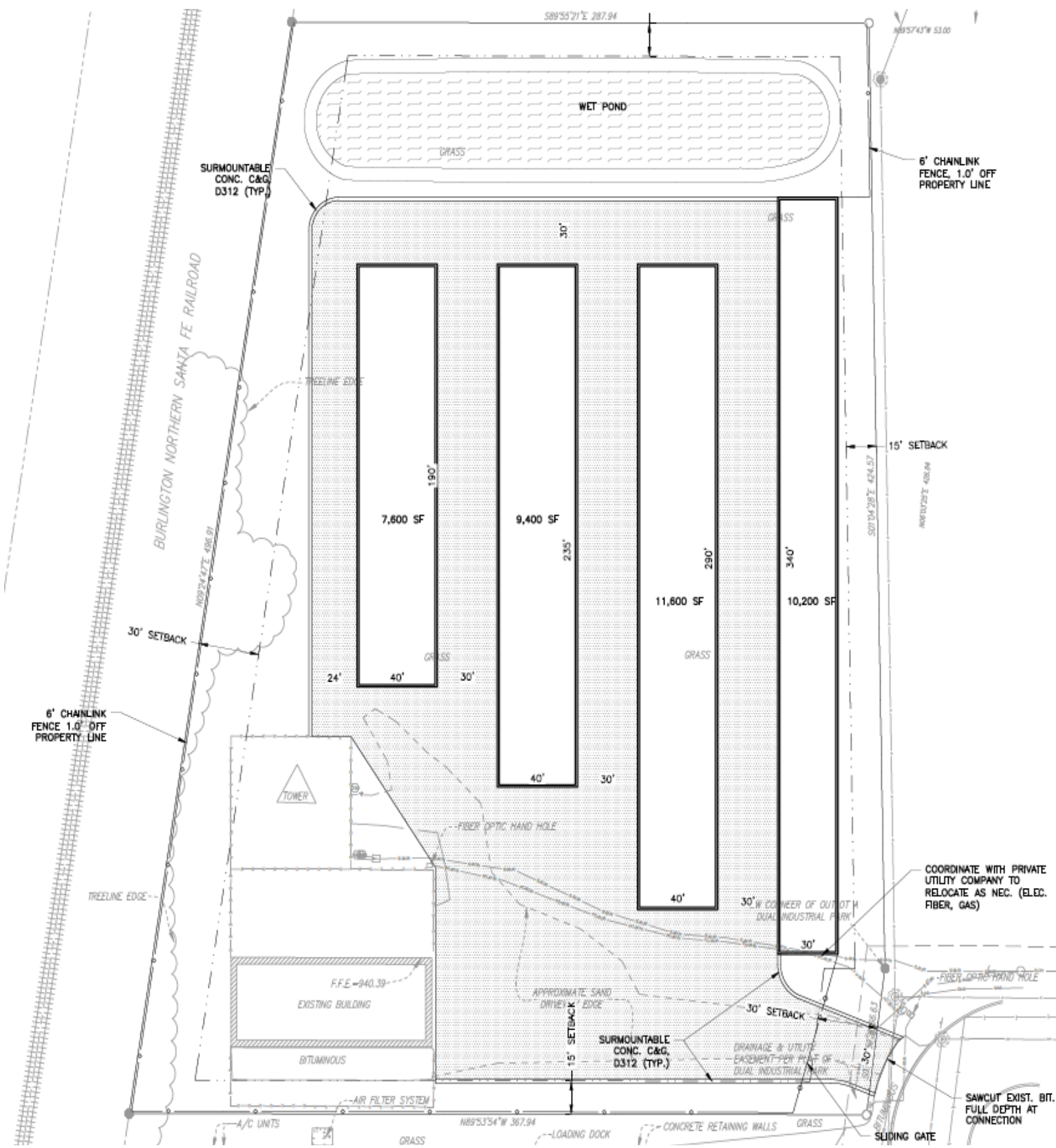
Attachments:

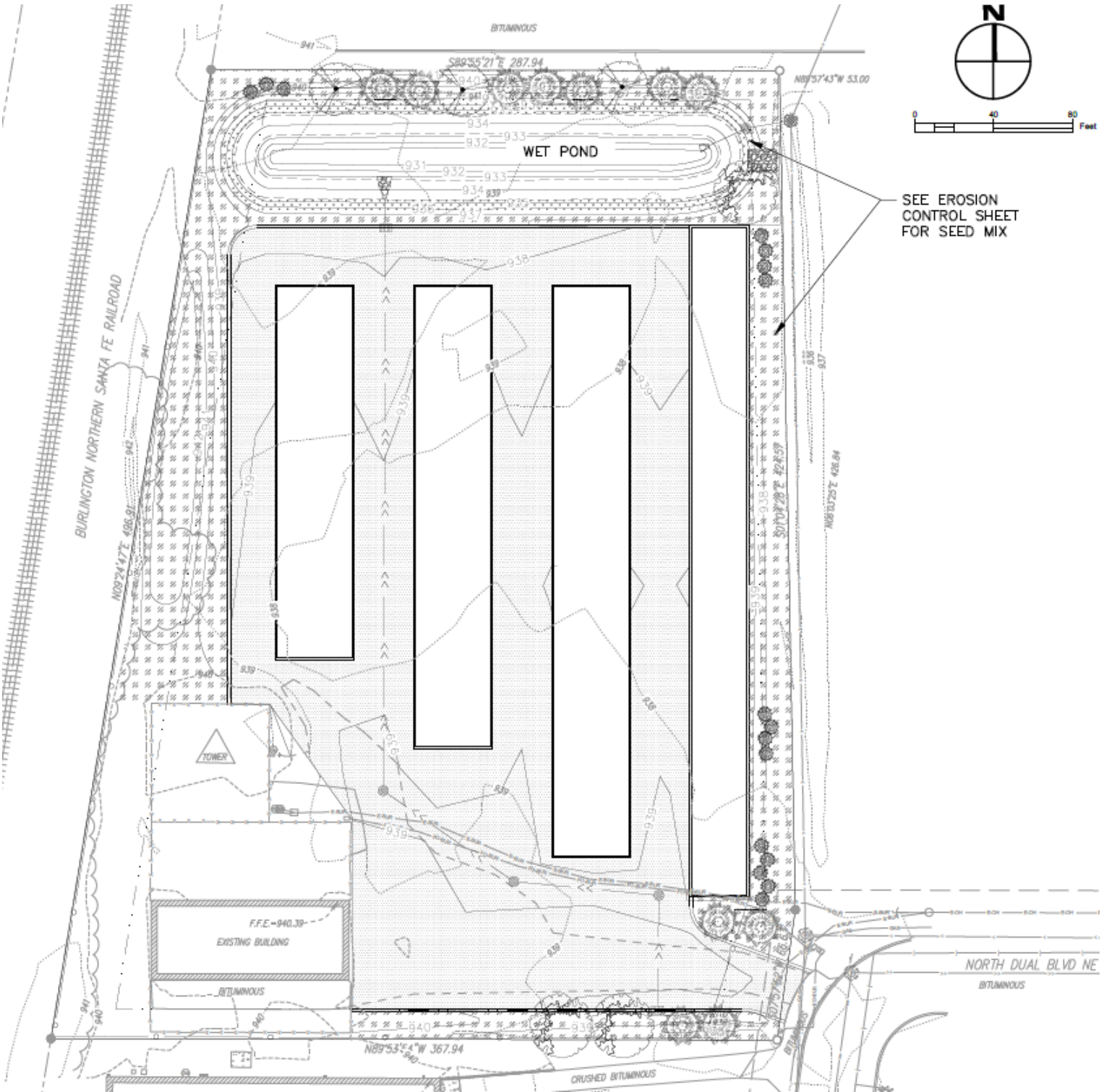
- Site Plans
- Landscaping Plans
- Exterior Elevations
- Engineering Memo dated June 3, 2022

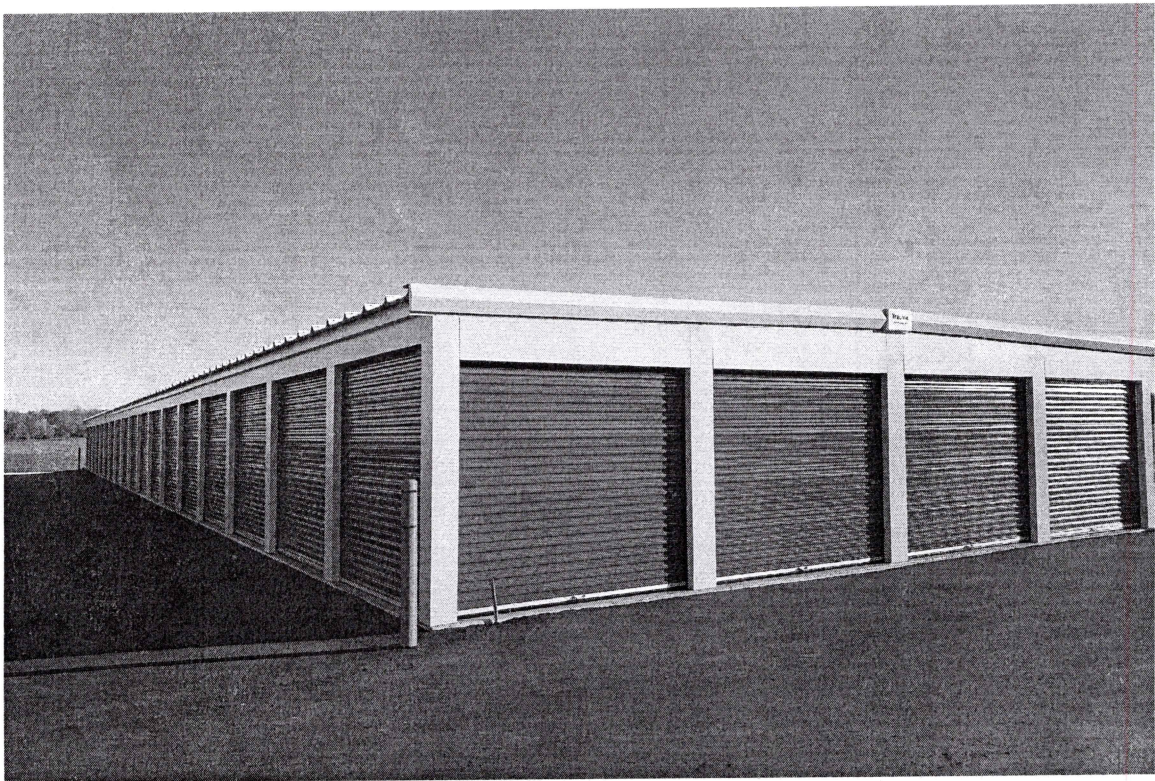


Project: Gopher State Storage

Does this project meet the standards of the current Zoning District?	Yes, the site is located in the I-1 Industrial Park District and the project meets the standards set by this zoning district
Are any Conditional Use Permits, Interim Use Permits or Variance applications required with this project? (If Yes, what for?)	Yes, a Conditional Use Permit has been submitted for Self-Storage in the Industrial District
If the previous question was answered "Yes", are all criteria for a CUP, IUP, or Variance met?	Yes, the self-storage facility will meet the Conditional Use Permit standards set in Section 21, Article 2 of the City's Zoning Ordinances
Does this project follow the goals of the City's Comprehensive Plan?	Yes, the self-storage building is complementary of surrounding uses and businesses in the Industrial Park and will provide residents more opportunities for storage, a growing demand as the city develops
Does staff recommend approval? Are there any recommended conditions for this project?	<p>Staff recommends approval with the following conditions:</p> <ol style="list-style-type: none">1. The applicants shall submit a site photometrics plan and the lighting designs used shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.2. All signs shall need a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances.3. Landscaping shall follow Section 15, Subd. 5 of the City Zoning Ordinances for Turf Requirements.4. Applicant shall apply for all permits associated with the building of the self-storage facilities including but not limited to a building permit, mechanical permit, plumbing permit and electrical permit.5. Any comments requested in the City Engineer's Memo, dated June 3, 2022.



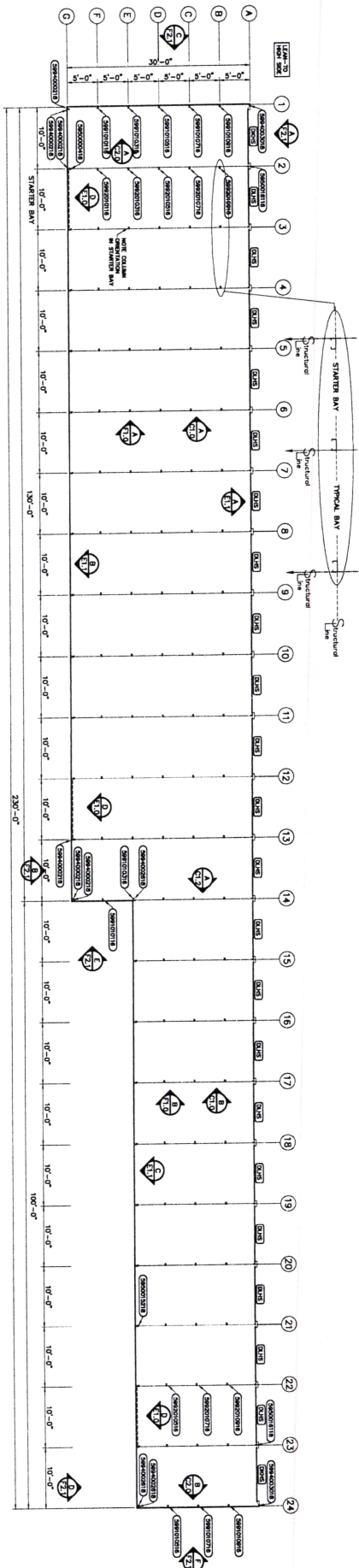






DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES



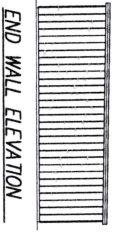


FLOOR PLAN FOR 9'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING #1 1/8" = 1'-0"

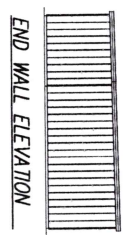
DOOR SCHEDULE				
QTY	CODE	TYPE	SIZE	ROUGH OPENING
2	DWHS	ROLL-UP	8'-6" x 8'-7"	8'-6" x 8'-7.5"
21	DWHS	ROLL-UP	9'-0" x 8'-7"	9'-0" x 8'-7.5"
DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES				

ROLL-UP DOORS MEET ASTM E330

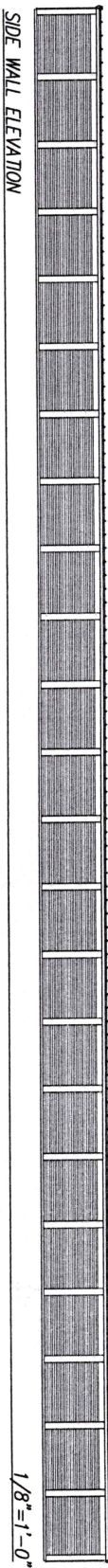
DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES



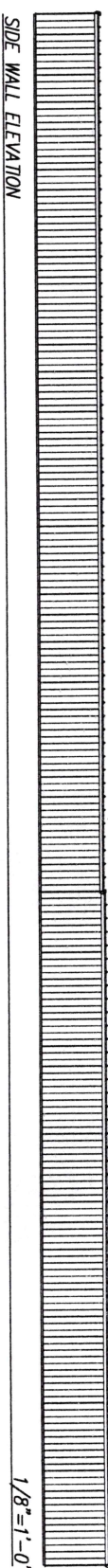
END WALL ELEVATION



END WALL ELEVATION



SIDE WALL ELEVATION



SIDE WALL ELEVATION



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: June 3, 2022
To: Stephanie Hillesheim, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Gopher State Storage – Site Plan Review
City of Isanti, MN
Project No.: 0R1.126218

We have reviewed the Site Plan and supporting documents entitled “Gopher State Storage” with a signature date of May 27, 2022.

The plan includes the construction of 4 new storage buildings, paved drive lanes and a storm sewer system with a pond.

An existing and proposed stormwater model was also submitted.

We have reviewed the submitted documents and have the following comments:

Site Plan:

1. Sheet C2.01 Site Layout:
 - a. Western most drive lane shall be a minimum of 27’ face of curb to building face to allow vehicle movements around stopped cars and fire truck access around buildings.
 - b. Curb & gutter shall be constructed around the full perimeter of the new pavement including the SW area of the site.
 - c. Reconstruct the existing driveway apron onto North Dual Boulevard to convey the storm water from the proposed curb & gutter draining to the street.
 - d. General Comment: Relocating fiber optic lines can be difficult. This may delay construction or not be cost effective, may want to consider shortening the eastern most building to avoid the conflict.
2. Sheet C5.01 – Grading & Drainage Plan:
 - a. Verify water will not be trapped on adjacent driveway to the south where proposed contour 938 appears to dam off low area onto adjacent property with no outlet.
 - b. The storm water pond will need to have an impervious liner to ensure no infiltration occurs and the dead storage is maintained.
3. Sheet C6.01 – Erosion Control Plan:
 - a. All turf establishment outside of the proposed pond embankment slopes shall be sod, not seed, per City standard.



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

4. Sheet C6.02 – SWPPP Narrative:
 - a. Submit pond maintenance plan.
 - b. Submit NPDES Permit to City prior to beginning work.
 - c. Submit City SWPPP checklist (attached)

Stormwater Modeling:

1. No Comments.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



SWPPP Checklist

Construction Stormwater Permit Program

Doc Type: Stormwater Pollution Prevention Plan (SWPPP)

Background: This checklist is based on the checklist used by Minnesota Pollution Control Agency (MPCA) staff for Stormwater Pollution Prevention Plan (SWPPP) reviews.

Site Information

Applicant: _____ Project name: _____

Application date: _____ Reviewer name: _____

SWPPP Narrative

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Describe the nature of the construction activity? |
| <input type="checkbox"/> | <input type="checkbox"/> | Address the potential for a discharge of sediment and/or other potential pollutants from the site? |
| <input type="checkbox"/> | <input type="checkbox"/> | Propose erosion prevention and sediment control Best Management Practices (BMPs). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the person knowledgeable and experienced who will oversee the implementation of the SWPPP. |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the entity (name or title) responsible for performing future Operations and Maintenance (O&M). |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify the training requirements are satisfied. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe project phasing. |
| <input type="checkbox"/> | <input type="checkbox"/> | Describe final stabilization methods for all exposed areas? (may be in narrative or on plan sheets) |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify stormwater management measures needed to mitigate impacts identified as a result of environmental, historical, archaeological, or rare species reviews conducted for the project? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify additional measures being taken to protect Drinking Water Supply Management Areas? |
| <input type="checkbox"/> | <input type="checkbox"/> | If site discharges to special water or impaired reach, identify any site areas discharging to the special or impaired reach? |
| <input type="checkbox"/> | <input type="checkbox"/> | Identify construction areas that are adjacent to and drain to Public Waters for which the Minnesota Department of Natural Resources (DNR) has promulgated "work in waters restrictions" during specified fish spawning time frames. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for expected amount, frequency, intensity, and duration of precipitation. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for nature of stormwater runoff and run-on at the site. |
| <input type="checkbox"/> | <input type="checkbox"/> | The SWPPP must account for the range of soil particle sizes expected to be present on the site. |
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SWPPP Plan Sheets

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Existing and final grades. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations and types of all temporary and permanent (including infiltration areas) ESC BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Stormwater flow directions and surface water divides for all pre- and post-construction drainage areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Impervious areas (Pre- and Post-Construction). |
| <input type="checkbox"/> | <input type="checkbox"/> | Soil types. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of potential pollutant-generating activities. |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of areas not to be disturbed (buffer zones). |
| <input type="checkbox"/> | <input type="checkbox"/> | Tabulated quantities of all erosion prevention and sediment control BMPs. |
| <input type="checkbox"/> | <input type="checkbox"/> | Location of areas where construction will be phased to minimize duration of exposed soil areas. |
| <input type="checkbox"/> | <input type="checkbox"/> | Areas of steep (3:1 or greater slope). |
| <input type="checkbox"/> | <input type="checkbox"/> | Locations of all wetlands, surface waters, and storm ponds that will receive pre- or post-construction site runoff. |

Stormwater Discharge Design

- | Yes | No | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | For any stormwater flow that will be channelized at the site, the stormwater controls must be designed to control both peak flowrates and total stormwater volume to minimize erosion at outlets and to minimize downstream channel and streambank erosion. |
| <input type="checkbox"/> | <input type="checkbox"/> | Are Temporary Sediment Basins required on site? |
| <input type="checkbox"/> | <input type="checkbox"/> | Yes No |
| <input type="checkbox"/> | <input type="checkbox"/> | Adequately sized and appropriately located |
| <input type="checkbox"/> | <input type="checkbox"/> | Designed to prevent short circuiting? |
| <input type="checkbox"/> | <input type="checkbox"/> | Outlets designed to remove floating debris, withdraw from the surface, and allow complete drawdown? |
| <input type="checkbox"/> | <input type="checkbox"/> | Do outlets have energy dissipation? |
| <input type="checkbox"/> | <input type="checkbox"/> | Have a stabilized emergency spillway? |

Which method of permanent stormwater treatment has been selected?

Yes No

☐ ☐ Are calculations/computer model results included to demonstrate the design and adequacy?

☐ ☐ Is adequate maintenance access provided?

☐ ☐ Infiltration or filtration

Yes No

☐ ☐ Is infiltration/filtration appropriate to the site and land uses?

☐ ☐ Phasing to ensure excavation of infiltration system after drainage area stabilized?

☐ ☐ Rigorous sediment and erosion controls to keep sediment and runoff away from the system?

☐ ☐ Is a pretreatment device planned?

Yes No

☐ ☐ Wet sedimentation basin:

Yes No

☐ ☐ Configured so scour or resuspension is minimized and to prevent short circuiting.

☐ ☐ Basin outlets designed to discharge at > 5.66 cubic feet per second (cfs) per acre of pond

☐ ☐ Basin outlets designed to prevent discharge of floatables.

☐ ☐ Stabilized emergency overflow.

Yes No

☐ ☐ Regional ponds:

Yes No

☐ ☐ Is written authorization from owner of regional pond included in SWPPP?

☐ ☐ Does regional pond design conform to the permit requirements for wet sedimentation basin?

Other Requirements

Yes No

☐ ☐ Plans show areas that are not to be disturbed or are areas where disturbance will be minimized.

☐ ☐ Minimize disturbance or other techniques to minimize destabilization of steep slopes.

☐ ☐ Has appropriate construction phasing been implemented?

☐ ☐ Exposed soils have erosion protection/cover initiated immediately and finished within 14 days

☐ ☐ Wetted perimeters of ditches stabilized within 200 feet of surface water within 24 hours.

☐ ☐ Temporary or permanent ditches or swales that are being used as a sediment containment system during construction must be stabilized within 24 hours after no longer being used as a sediment containment system.

☐ ☐ Pipe outlets have energy dissipation within 24 hours of connecting.

☐ ☐ Discharges from stormwater controls are directed to vegetated areas of the site unless infeasible.

☐ ☐ Are sediment control practices established on down gradient perimeters and upgradient of any buffer zones?

☐ ☐ Are all inlets protected?

☐ ☐ Stockpiles have sediment control.

☐ ☐ Construction site entrances minimize street tracking.

☐ ☐ Plans minimize soil compaction and preserve topsoil.

☐ ☐ 50 foot buffer or (if not feasible) redundant sediment control when adjacent and drains to a surface water.

☐ ☐ Is a dewatering plan required?

☐ ☐ Storage, handling, and disposal of construction products, materials, and wastes.

☐ ☐ Fueling and maintenance of equipment or vehicles; spill prevention and response.

☐ ☐ Vehicle and equipment washing.

☐ ☐ No engine degreasing allowed on site.

☐ ☐ Containment of Concrete and other washout waste.

☐ ☐ Portable toilets are positioned so that they are secure.

☐ ☐ Stabilization by uniform perennial vegetative cover (70% density of its expected final growth).

Requirements of Appendix A

Yes No

☐ ☐ Does this site drain to a discharge point on the project that is within one mile of a Special or Impaired Water?

Yes No

☐ ☐ Stabilization initiated immediately and all soils protected in 7 days

☐ ☐ Provide temp basin for five acres draining to common location.

☐ ☐ 100-foot buffer

☐ ☐ Other as appropriate

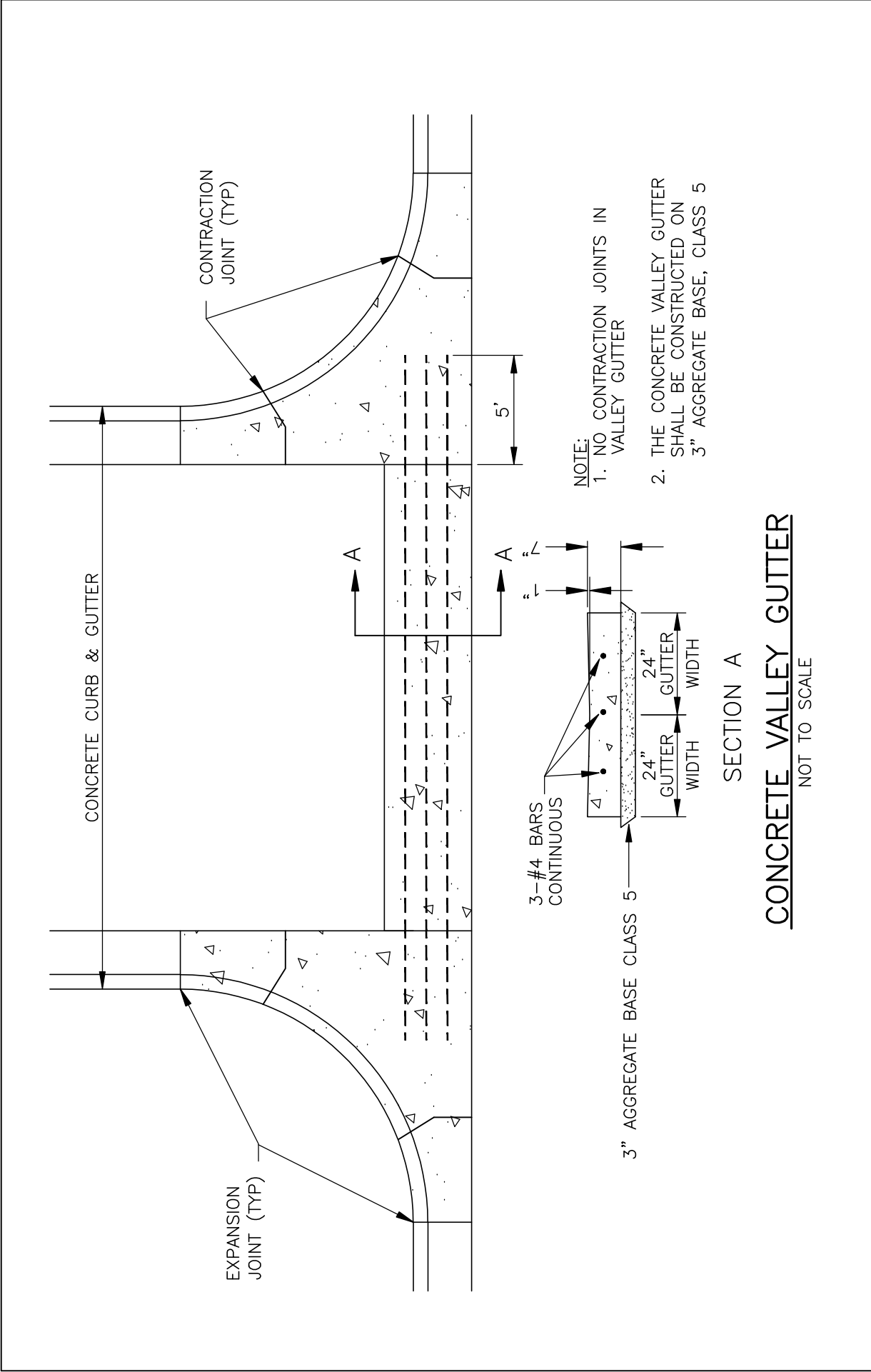
Wetland Impacts

Yes No

☐ ☐ Does this site have a discharge with the potential for adverse impact to wetlands:

Yes No

☐ ☐ Does the SWPPP comply with the conditions of an approved Wetland Impact Permit?



CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL: STDS COMM. SPRING, 2006	DATE: REVISIONS:	DETAIL LOG
PATH: Y:\7-100		REMARKS:			
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			