



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, March 16, 2021
Immediately following the 7:00 pm City Council Meeting
CITY HALL**

Seating may be limited. If you would like to send in a comment for a Public Hearing to be read on your behalf, please submit to the Community Development Director ssellman@cityofisanti.us or (763) 762-5761.

1. Meeting Opening

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications

2. Meeting Minutes

- A. Approval of Minutes from January 19, 2021 and March 2, 2021 Planning Commission Meetings

3. Public Hearing

- A. Request by Coffee Holdings, LLC for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd 4, said request is for a Caribou Coffee building with a drive-thru located at PID 16.029.0500.
- B. Request by Paradise Homes for a Variance under City Ordinance 445, Section 21, Article 2, said request is to construct a four-season porch within the 30-foot rear setback requirement of Legacy Pines Second Addition PUD, located at 511 Blue Bird Ct, PID 16.155.0080.

4. Other Business

5. Discussion Items

6. Adjournment

**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, January 19, 2021**

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:23 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Dan Collison, Steve Lundeen, Jimmy Gordan, Paul Bergley, Alexander Collins, Arissya Simon.
Members Absent: None
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Administrator Josi Wood, City Engineer Jason Cook
- D. Agenda Modifications: Remove Public Hearing Item 4.B

2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8

- A. Election of 2021 Chair
- B. Election of 2021 Vice-Chair
- C. Election of 2021 Secretary
- D. Approval of Meeting Dates

The Planning Commission approved the 2021 meeting calendar, and the positions of the Chair (Jeff Johnson), Vice-Chair (Steve Lundeen) and Secretary (Sheila Sellman or designee) will remain the same as the 2020 positions. Motion for approval by Lundeen, second by Collision, motion passes 7-0.

3. Meeting Minutes

- A. Approval of Minutes from December 15, 2020 Planning Commission Meeting motion by Collison, second by Simon motion passes 7-0.

4. Public Hearing

- A. Request by Homepride, Inc for consideration of a Preliminary Subdivision and a Planned Unit Development called "Fairway Greens North" at PID's 16.020.1000 and 16.020.0803. Sellman presented the preliminary plans for a proposed single family residential housing development called Fairway Greens North. Representatives of the applicant, Homepride Inc and engineer of LHB Inc, were at the meeting and available for questions. There was no one present from the public to speak at the public hearing. The Planning Commission discussed if having one entrance/exit into the development would be sufficient for traffic and circulation of emergency vehicles. It was noted that the fire chief recommends another entrance/exit for the development to allow for multiple access points. The applicants explained that this request would be difficult due to the existing natural

features on site such as wetlands and forested areas which are intended to be preserved. And they do provide two outlets, one on the north and one to the east, but those won't be used until the adjacent lands develop. The applicant explained the entrance road off Cajima is wider than a standard road, that the 40 ft width would have enough clearance for cars and emergency vehicles to pass through, given that a condition is in place where there is no parking on this road along the north side. The Planning Commission was in agreement to this condition.

The Planning Commission also discussed the tree removal/preservation plan and whether the number of trees dispersed across the site after the removal of the wooded areas would be sufficient or if the lots would need to add an additional 2 trees (from the landscaping ordinance) on top of the replacement amount from the removal. The applicants explained that they would be planting over 400 trees across the development due to taking out expansive wooded areas, and that this number would equal more than two trees planted per lot. The Planning Commission determined that the number of trees that would be replanted would be sufficient as long as they place at least two trees per lot. Park dedication was also discussed and the applicants agreed to pay the fees associated with designating park space of a little over three acres. Conditions for approval from the Planning Commission include no parking on the north side of the entrance, requiring at least two trees per lot, and the applicant pays park dedication fees. Motion for approval of the preliminary plans with conditions given by the Planning Commission, conditions listed in the City Engineer's Report dated January 13th, 2021 and conditions listed in the Community Development Director's report dated January 19, 2021 by Lundeen, 2nd by Collison, motion passes 7-0.

- B. Request by the City of Isanti for a Preliminary and Final Subdivision to combine the current UPS parcel, PID 16.053.0151, with a city-owned vacant parcel to the east located at PID 16.029.1400 and 16.020.0803.

This agenda item was removed at the beginning of the Planning Commission meeting.

- C. Request by the City of Isanti for a Preliminary and Final Subdivision to subdivide PID 16.124.0020 into three five-acre lots

The Planning Commission discussed splitting up the 15-acre parcel into three five-acre lots of the shovel ready site, in which LTL, LLC will be purchasing the northern two lots. The city will retain the southern lot for sale in the future. A representative from LTL, LLC was present for questioning. There was no one from the public who spoke at the public hearing. Motion for approval to subdivide the parcel by Bergley, 2nd by Collins, motion passes 7-0.

- 5. **Other Business:** None
- 6. **Discussion Item:** None
- 7. **Adjournment:** Motion by Bergley, 2nd by Lundeen to adjourn, motion passed 7-0 meeting adjourned at 8:19 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

**SPECIAL PLANNING COMMISSION MEETING
TUESDAY, March 2, 2021**

1. Meeting Opening

- A. **Call to Order:** Chair Johnson called the meeting to order at 7:37pm
- B. **Pledge of Allegiance**
- C. **Roll Call:** Members present: Jeff Johnson, Steve Lundeen, Paul Bergley, Dan Collison, Alexander Collins, Jimmy Gordon.
Members absent: Arissya Simon.
Staff present: Community Development Director Sheila Sellman, City Administrator Josi Wood, City Engineer Jason Cook, Police Chief Travis Muyres, Widseth Project Team Mike Angland.
- D. **Agenda Modifications:** None
- E. **Adopt Agenda:** Motion by Lundeen, second by Collison to approve motion passes 6-0.

2. Public Hearing

- A. Request by the City of Isanti for approval of a Site Plan as required under City Ordinance 445, Sect. 18. Said request is for a municipal liquor store located at 10 6th Ave SE PID 16.029.2100. Sellman gave a power point presentation on the proposed liquor store. She commented that as proposed all zoning requirements have been met. Collison had questions about building signage and commented that we should look into internally lit signage for the building. Lundeen responded that different signage alternatives will be presented and that detail will be worked out at the permit process. Sellman noted that she would bring any sign proposals to the Council for approval. Collison questioned if the parking lot medians are necessary along the trailer parking area, noted that makes it harder for the plow trucks. City Engineer Cook responded that is for separation and to provide a guide for winter parking. He noted that there is an outlet on the SE corner of the site for a plow truck. The public hearing was opened and no one from the public spoke on this item. Motion by Lundeen to approve the site plan as presented, second by Collison, motion passed 6-0.

- 3. Adjournment:** Motion by Lundeen, second by Collison to adjourn, motion passed 6-0 meeting adjourned at 7:53pm.

Respectfully submitted by Sheila Sellman, Secretary/Community Development Director



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: March 16, 2021

SUBJECT: Site Plan Review and Conditional Use Permit for a Caribou Coffee with a drive-thru located at 260 5th Ave NE

Request: The applicant, Coffee Holdings, LLC is requesting Site Plan and Conditional Use Permit (CUP) approval for a proposed building with a drive-thru located at 260 5th Ave NE for Caribou Coffee PID 16.029.0500.

Overview/Background: The applicant would like to construct a Caribou Coffee freestanding building on a 1.03-acre vacant lot located at the corner of Highway 65 and Main St E. A Caribou Cabin style building is proposed for the south side of the parcel while allowing room for future development on the remaining 0.46 acres of the north side of the parcel. This parcel is currently zoned B-2 General Business and is also within the Highway 65 Corridor Overlay District in which a “Coffee House” is a permitted use.

The building is intended to service drive-thru orders, walk up orders, along with order ahead requests to be delivered either curbside or via the pick-up window. The building is proposed to be 605 square feet and will be considered a “Caribou Cabin”, a small-scale building without indoor seating that will only allow employees to enter. The interior of the building will accommodate the service equipment, a bathroom and office area. An outdoor patio of roughly 400 square feet is proposed for use during seasons that would allow for customers to sit outside. The site is designed to accommodate nine cars in the drive-thru area, with a designated bypass lane running parallel to the drive-thru lane. Fourteen Parking stalls are also displayed on the site plans, with two of these stalls designated as handicap accessible.

Analysis of Application: The site plan for the building shall comply with the following requirements for both the B-2 General Business District and the Highway 65 Corridor Overlay District:

Lot Requirements

- Lot Size 1 acre
- Minimum Building Size 15% of lot size

The area of the parcel is 44,902 square feet or roughly 1.03 acres in size. The proposed building is 605 square feet and will not meet the minimum building size requirement (15% of lot size) in the Highway 65 Overlay District. The area of the proposed building will be 1.3% of the total lot size. However, there will potentially be two buildings on this site, being flexible now will allow this to happen.

Setbacks and Height Restrictions – Principal Building

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Street Side Yard Setback 20 feet
- Rear Yard Setback 15 feet
- Highway 65 Setback 100 feet
- Maximum Building Height 3 Stories or 45 ft, whichever is less

The proposed building will be located roughly in the middle of the lot and will meet all required setbacks. The building will be single story and will not exceed the 45 feet height requirement.

Impervious Surface Coverage

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter. (Ord. No. 618)

The proposed development will be roughly 0.57 acres on the south end of the site and the remaining 0.46 acres is intended to be developed in the future. The landscaping requirement of 25% of the total lot area as green space will be met for this phase of development.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

- | | |
|-----------------------------------|---|
| Fast food, drive-thru restaurants | 1 space for every 3 seats and 1 space for every employee on the peak shift, plus stacking space for 6 vehicles per service lane |
|-----------------------------------|---|

This type of use will require at least 6 parking spaces in which one stall would need to be designated as handicap accessible. The site plans show 14 parking stalls, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the development.

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will follow the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths are proposed at 26 feet and meet the requirement for two-way vehicle circulation. The entrance to the drive-thru lane is proposed at roughly 10 feet in width, MN State Fire Code states that this width shall be a minimum of 20 feet to allow fire apparatus access to the building and customer vehicles in the drive-thru. A minimum turning radius of 28 feet for access roads is also a regulation listed in the State Fire Code, and mentioned in the Fire Chief's memo. The applicant is requesting the ability to maintain the 12' width as they feel they are providing adequate access to the 605 square foot building via two other access points in an emergency situation as depicted on the site plan. The Planning Commission should discuss if they want to allow this request.

Bicycle Parking

Bicycle parking is required for all new construction commercial developments in the city and is determined by the number of required car parking stalls. Since this site requires less than 20 parking stalls, the development will only need 1 required bike parking space. The site plans show bicycle racks near the outdoor patio area and walk-up service window to the building. The bicycle racks are proposed in a convenient location less than 50 feet from the building and will comply with the City's Bicycle Parking standards.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and drive-thru lanes are proposed to be surfaced with standard duty asphalt. Drive aprons around the site entrances, sidewalks and the outdoor seating patio will be surfaced with concrete.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
 - 1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
 - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
 - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
 - 2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
 - 3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
 - 4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
 - 6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
 - 7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

A photometrics plan was submitted with foot candle readings and lighting types used on the site. Based on the foot candle readings on the photometrics plan these light sources will meet all criteria listed in Section 14 of the City Zoning Ordinance. Three downlit light poles are proposed to be placed around the drive-thru and bypass lanes and one light pole will be placed near the trash enclosure.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around all parking areas and the drive-thru/by-pass lanes. The City Engineer's report addresses modifications to the curbing by replacing the existing curbing with B618 as needed.

Curb Cuts

The curb cuts proposed along 5th Avenue NE and Main St E are 26 feet in width and comply with City Standards.

Exterior Building Materials

These standards are intended to ensure coordinated design of building exteriors, additions and accessory structure exteriors in order to prevent visual disharmony, minimize adverse impacts on adjacent properties from buildings which are or may become unsightly, and buildings that detract from the character and appearance of the area. It is not the intent of this division of unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, and site characteristics.

- A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:
 1. Face brick.
 2. Natural stone.
 3. Glass.
 4. Decorative concrete block as approved by the City Council.
 5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
 6. Masonry stucco.
 7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
 8. No more than 75% of the building sides visible from Highway 65 may be constructed of decorative concrete block, pre-cast concrete or stucco.
 9. The exterior of the building shall have varied and interesting detailing. Large unadorned walls shall be prohibited (50' or more). All large walls viewable from Highway 65 must be relieved by architectural detailing, such as change in materials, change in color, offsets, or other significant visual relief provided in a

manner or at intervals in keeping with the size, mass and scale of the wall and its views from the public right-of-way.

10. Exterior building material colors shall be complimentary of other buildings within the district.
11. Exterior elevations of all sides of a proposed building noting the material and color of each component, to include exterior building materials, awnings, mechanical screening material, fencing and the like, shall be submitted with the site plan for determination of compliance with the above requirements.

Exterior building materials include cultured/manufactured stone around the base of the entire building, Hardie Plank siding, trim board and metal roofing. Siding will be painted a teal color and the stone, trim and metal roofing are proposed to be varying brown colors. Exterior building material colors in the Highway 65 District are to be complimentary of other buildings within the district; the teal siding color does not match any surrounding buildings in the district but could be acceptable with flexibility and approval from the Planning Commission and City Council. The exterior of the building has varied detailing with materials and colors on all sides and visually appealing architectural detailing to resemble a "cabin feel" to the design.

B. Landscaping.

The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

The landscaping plan proposes to include 18 trees on site with 10 overstory trees planted along the perimeter of the site and 8 ornamental trees on the interior and north perimeter. The City Landscaping Ordinance requires that the site have at least 12 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 18 trees will meet this standard. The tree species and plantings proposed on the landscaping plan are consistent with the City Tree List and are permitted to be planted on site. Mulch will be placed around the perimeter of the site and sod will be laid on the interior of the site in between the drive-thru lane and the outdoor patio area.

Building Orientation

Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front).

The building orientation is proposed to be four-sided architecture with all elevations proposing signage, stone base, plank siding and wall lamps. The west elevation will have a door for entering/exiting the building and the north, south, and east sides of the building will have windows.

Outdoor Seating Food service businesses, including, but not limited to, bakeries, delicatessens, coffee shops, and restaurants, may provide temporary outdoor seating as an accessory use for their patrons, provided the following requirements are met:

- A. An administrative permit shall be reviewed and approved by the City Planner or his/her designee. If the proposed outdoor seating area abuts a residential district, then a Conditional Use Permit is required.
Site Plan Approval will suffice for this requirement and a separate administrative permit is not necessary.
- B. Seating and furniture shall enhance the appearance of the business.
Furniture shall compliment the building and enhance the appearance of the business.
- C. Seating areas shall be located in a controlled or cordoned area with at least one (1) opening to an acceptable pedestrian walk. When a liquor license is involved, an enclosure is required and the enclosure shall not be interrupted. Access to such area shall be through the principal building only. Signage shall be displayed that restricts the consumption of alcohol outside of the designated outdoor seating area. The proposed use is not selling alcohol and the patio is in a designated area with pedestrian access.
The outdoor seating area will have pedestrian access from the parking lot area and sidewalks allowing controlled pedestrian walkways. Alcohol will not be served on site and the patio area will not have to be enclosed.
- D. Seating shall be located and designed so as not to interfere with pedestrian and vehicular circulation.
Outdoor patio design/plans shall be included on the site plan to display tables and seating areas to determine if these criteria are met for pedestrian access and flow. Such plans shall be submitted and approved by staff as part of the development agreement.
- E. Seating areas shall be equipped with trash receptacles and shall be periodically reviewed for litter pick up.
Trash receptacles shall be located on site plans in the outdoor patio area to reduce litter by customers.
- F. Seating areas shall not have loud speakers or audio equipment that is audible from adjacent property lines. All exterior sound equipment shall be shut off by ten (10) o'clock p.m.
Speakers or Audio Equipment are not shown on the exterior of building.
- G. Lighting shall be permitted to the extent that it only illuminates the designated seating area.

Freestanding light poles are not shown on the photometrics plan to illuminate the seating area. Wall lamps are proposed on the side of the building as shown on the exterior elevation plans.

- H. Seating areas shall not obstruct required accesses, entrances, and exits into the business establishment; but shall be located adjacent to the principal use.

The seating area is located in the middle of the site near the building and will not obstruct the access into the building.

- I. Seating shall not be located in such a manner as to obstruct parking spaces. No additional parking is required for thirty (30) seats or less. Any additional seating over thirty (30) seats shall provide required parking based on one (1) space per three (3) seats.

Seating areas will not obstruct parking spaces. Seating layout shall be shown on site plans for staff to determine whether additional parking is needed.

- J. Any proposed outdoor seating plan over fifty (50) seats shall be reviewed as a Conditional Use Permit.

If the applicant proposes an outdoor seating plan that exceeds 50 seats, they will need to apply for a Conditional Use Permit.

Refuse and Trash Receptacle Enclosures

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the "R-1", "R-2", and "R-3A" Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.

3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash enclosure is proposed to be located in the parking area and will be screened with coniferous shrubs and a large overstory tree near the curb cut on 5th Ave NE. The colors of the enclosure and bollards is consistent with the principal building on site. The trash enclosure is proposed to be 7'8" in height and will open on two sides for access by latched gates. The trash enclosure is proposed to be illuminated with a light pole for safety of employees.

Mechanical Equipment

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building and shall be provided in accordance with the regulations as provided within Section 15, Subdivision 3 of this Ordinance.

The Mechanical Equipment Pad and Electrical Transformer Pad are located near the outdoor patio area and are screened from all roadways by coniferous shrubs and ornamental trees. Flagstone steppers allow accessibility to these pads from the patio area.

Drive-Thru Facilities

Permitted by a Conditional Use Permit only as an accessory use to a business or restaurant providing the following requirements are met:

- A. No drive-thru window shall be adjacent to a public street.
The proposed drive-thru window will be located on the north side of the building and will not be adjacent to a public street.
- B. Drive-thru facilities shall be limited to one (1) service window which is part of the principal structure and not more than two queuing lanes, unless approved along with additional landscaping, screening, or other pedestrian amenities such as fencing, seating, raised pedestrian crossings, etc.
The exterior building elevations display one drive-thru window and one designated queuing lane, with a bypass lane running parallel to the drive-thru lane.
- C. There shall not be any additional curb cuts on a public right-of-way exclusively for the use of drive-thru queuing or exit lanes. Drive-thru traffic shall enter and exit from internal circulation drives.
The curb cuts will be located on 5th Ave NE and Main St E to access the site. These curb cuts will not be used exclusively to enter the drive-thru lanes.

- D. Queuing space for at least four (4) cars or seventy (70) feet shall be provided per drive-thru service lane as measured from but, not including the first drive-thru window or teller station.

The drive-thru lane will be able to accommodate 9 cars, with 2 additional waiting stalls ahead of the drive-thru window.

- E. Queuing space shall not interfere with parking spaces or traffic circulation with the parking lot or upon the public right-of-way.

Queuing space is located on the east side of the site and will wrap around the building, while the parking stalls are located on the west side of the parcel. Traffic circulation for cars entering into parking stalls will not be impacted by the drive-thru lane.

- F. Alcoholic beverages shall not be served.

There will be no alcoholic beverages sold on site.

- G. Exterior loud speakers shall be located a minimum of one hundred fifty (150) feet from any parcel containing a residential use and such speakers shall comply with the noise regulations as provided within Isanti City Code of Ordinances.

The site does not border a residential area.

- H. A by-pass lane shall be provided, allowing autos to exit the drive-thru lane from the stacking lane.

A by-pass lane is provided that runs parallel to the drive thru lane, allowing vehicles to exit the drive-thru lane from the stacking lane.

- I. Screening of automobile headlights must be provided. Screening shall be at least three (3) feet in height and fully opaque. Screening shall consist of a wall, fence, dense vegetation, berm or grade change or similar screening as determined to be acceptable by the City Council.

The landscaping plan displays trees and shrubs surrounding the drive-thru and by-pass lane to screen vehicle headlights from surrounding parcels and roadways.

Drive-Thru Facilities are a Conditional Use and must follow criteria prior to approval. The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.

The nature of the drive-thru service is consistent with the goals and objectives of Isanti's Comprehensive Plan. The subject property is serviced by city sewer and water.

2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

Drive-Thru Facilities is a Conditional Use in the B-2 zoning district and Highway 65 overlay district and is an accessory use to a business or restaurant. Applying for the CUP meets the purpose and intent.

3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The establishment will not be detrimental or endanger the public.

4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

The conditional use will not diminish or impair surrounding property values.

5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The conditional use will not impede on the normal and orderly development and improvement of surrounding property.

6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

The site is served by City sewer and water, and will be able to reasonably accommodate the conditional use for Drive-Thru Facilities.

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The conditional use meets this requirement.

8. The conditional use complies with the general and specific performance standards as specified by within this Article.

The use meets this requirement.

Signs

Wall signs.

1. Wall signs shall be located a minimum of one (1) foot from the side of the building or unit line.

Signs located on the front and rear elevations show lettering that overlaps the side of the building and does not meet this requirement to be located a minimum of 1 foot from the side of the building. Sign plans shall be altered to meet this requirement.

2. The minimum sign area for each building or tenant shall be not less than twenty-five (25) square feet.

The building is proposed to have signage on all sides and will not be less than 25 square feet in area.

3. The maximum wall sign area is to be no greater than three hundred (300) square feet per business or unit regardless of wall size.

The building will not exceed 300 square feet in sign area.

4. One (1) wall sign per building or unit is permitted on the primary frontage. Additional wall signage may be permitted on the secondary frontage, which shall not exceed eighty (80) percent of the primary sign area allowance.

Wall signs are proposed on all four sides of the building. The front and rear elevations will have similar wall size dimensions and both side elevations will have the same dimensions. Two wall signs are proposed on both sides of the building and will not meet this requirement. Planning Commission shall discuss the wall signage proposed on the building. What is your recommendation?

5. Wall signs shall not exceed the number of square feet for every lineal frontage of building or unit wall in which the sign is to be located, for the district in which it is located, as provided: Zoning District Square feet of Sign Area B-1 1 CBT, B-3, RC, POS 1.5 Heritage Blvd Overlay, I-1 1.75 B-2 2 TH 65 Overlay 2.5

Wall signs in the Highway 65 Overlay District are allowed up to 2.5 square feet of sign area for every lineal frontage of the building. Based on the dimensions of the building and sign area proposed, the wall signs will meet this standard.

6. Wall signs shall not project more than eighteen (18) inches from the façade of the building.

Wall signs are proposed to project roughly 5 inches from the façade of the building.

7. On non-residential multiple story buildings, wall signs shall be located below the bottom of the second story; except that wall signs indicating the building name or the name of the primary occupant shall be permitted above the floor level of the highest floor in the building.

The building is proposed to be one story in height.

8. Illumination. The light source shall be either internal or shielded external to minimize glare and light spilling unto neighboring properties. The illumination of signs shall not interfere with surrounding uses.

The proposed wall signs show a trim cap surrounding signage that will shield the light from glare. Illumination of these signs will not interfere with surrounding uses.

The site proposes wall signage on all four sides of the building, directional signs near the curb cuts on 5th Ave NE and Main St E. and one freestanding sign near Highway 65. The freestanding sign proposed near Highway 65 follows the requirement for 10 ft setbacks from property lines. Dimensions for the freestanding sign were not provided, therefore the sign will not be included with this site plan review. A sign permit for this freestanding sign shall be provided with dimensions, materials and location prior to approval. Menu boards for the drive-thru will not exceed the 60 square foot maximum requirement.

Staff Recommendation: Staff recommends approval of the Site Plan and Conditional Use Permit for the proposed Caribou Coffee free standing building located at 260 5th Ave NE with the following conditions:

1. Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
2. Outdoor Patio design/layout of tables and seating shall be shown on site plan and approved by staff and as part of the development agreement.
3. Wall signs shall be altered to be within 1 foot from the side of the building.
4. All freestanding signs require a sign permit to determine dimensions and locations and are not approved as part of this site plan review.
5. Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
6. All other conditions listed in the City Engineer's memo, dated 2/23/2021 shall be met.
7. A minor development agreement shall be executed and recorded prior to issuance of a building permit.

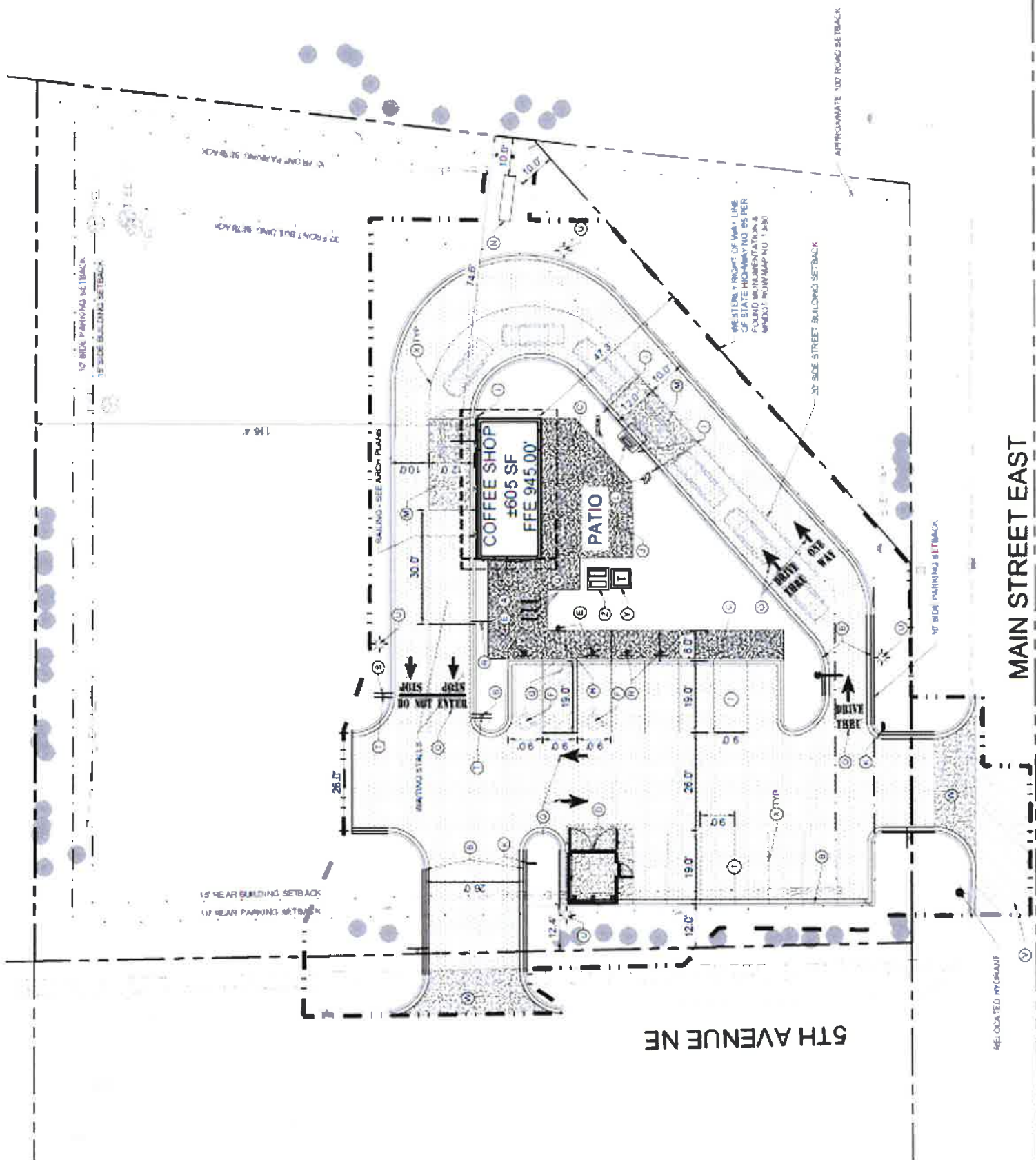
Attachments:

- Site Plans and Landscaping Plans
- Floor Plan and Exterior Elevations
- Photometrics Plan
- Sign Plans
- Engineer's Memo Dated 2/23/2021
- Fire Chief's Memo

STATE HIGHWAY NO. 65

5TH AVENUE NE

MAIN STREET EAST

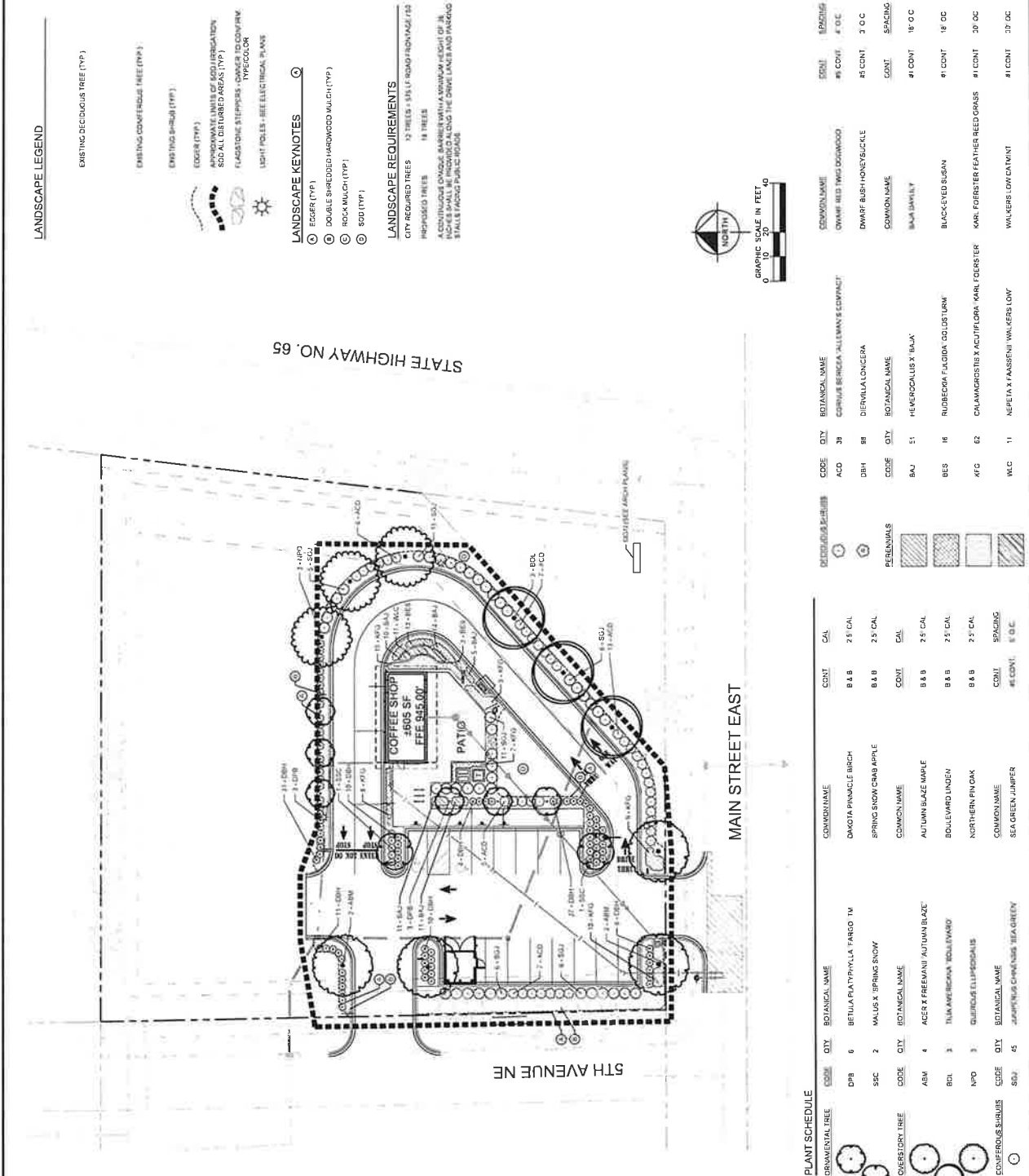


L100

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
INTERCOMINGED STATE OF WYOMING
PHONE: 307.233.6551
WWW.KIMLEY-HORN.COM

[illegible]

ISSUED FOR REVIEW - NOT FOR CONSTRUCTION





1 NORTH ELEVATION
1/2" = 1'-0"



2 EAST ELEVATION
1/2" = 1'-0"



3 WEST ELEVATION
1/2" = 1'-0"



4 SOUTH ELEVATION
1/2" = 1'-0"

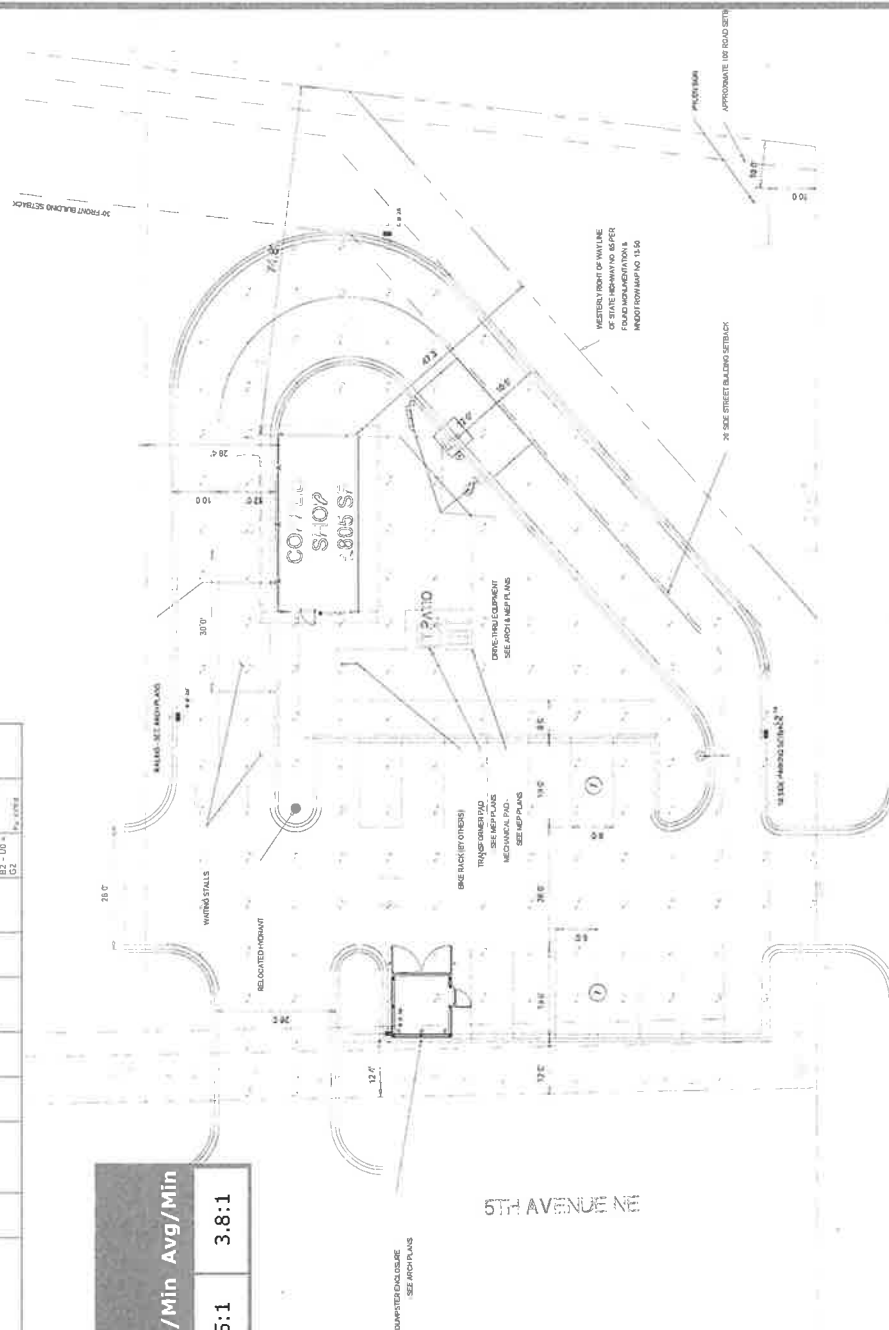
BUILDING MATERIALS LEGEND	
	STONE - CULVERT-MADE STONE, ENVIRONMENTAL BLENDING STYLE, LOCAL SOURCES, COLOR, LANTANA, COLOR, KODAK
	WOOD PLANK SIDING - PAINTED, CLONEST
	WOOD PLANK SIDING AT TRANSITION TO SIGN AND SURROUNDING WINDOWS AND DOORS - PAINTED, BITTERMEET CHOCOLATE
	STANDING SEAM METAL ROOFING - COLOR, DARK BRONZE
	DARK BRONZE STONEFRONT DOORS, WINDOWS, AND SERVICE DOORS
	NEULOGT FINISHES - PROGRESS P5164 & BURNISHED - CRESTANT WALL LAMPS

Symbol	Label	En-4th	QTY	Manufacturer	Catalog Number	Description	Unit	Manufacturer's Part Number	Accessories	Location	Quantity	U.P.	Weightage	Efficiency	Dimensions	Photo Part	Notes
ⓑ	ⓑ	2	Litroline Lighting	RSX1 LED P2 40x 84	RSX1 Area Poture Size 1 P2 40x 84	150 Area Poture Size 1 P2 40x 84 Type 64 Distribution	1	RSX1_LED_P2_40x84_06	9172	1	6.0	72.03	100%	TYPE 04, BLED, 1500LM, 220V, 22" x 10"			
ⓒ	ⓒ	2	Litroline Lighting	RSX1 LED P2 40x 84	RSX1 Area Poture Size 1 P2 40x 84	150 Area Poture Size 1 P2 40x 84 Type 64 Distribution	1	RSX1_LED_P2_40x84_06	9172	1	6.0	72.03	100%	TYPE 04, BLED, 1500LM, 220V, 22" x 10"			

Statistics

Description

Parking and Drives	+	1.5 fc	3.4 fc	0.4 fc	8.5:1	3.8:1
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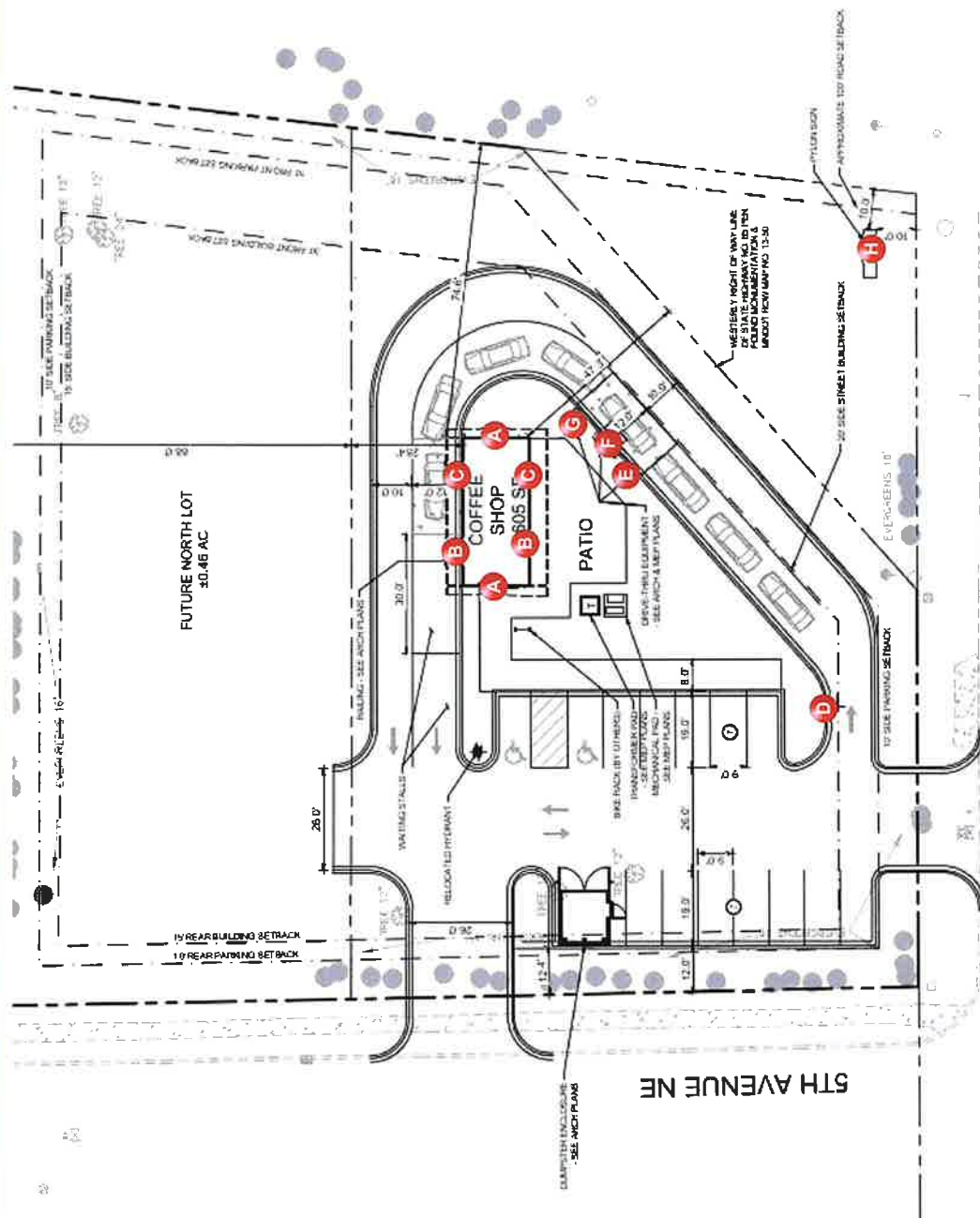


MAIN STREET EAST

Note

1. Graybar Electric does not assume responsibility for the interpretation of this calculation, or State and City codes.

Plan View



Sign Schedule

- A** 16" Channel letter set on raceway
- B** 22" Channel letter set on raceway
- C** 54" Logo Shield
- D** Vehicle height detector
- E** Preview board
- F** Order Point Canopy
- G** 5 Panel Menuboard
- H** MONUMENT 61"x93.5"

MAIN STREET EAST



Everbrite, LLC - 4249 South 116th Street - Overland Park, KS 66205 - www.everbrite.com

Customer/Site No: 0065R
 Address: HIGHWAY 65 AND MAIN ST. ISNATTI, MN 55040
 Description: CARIBOU COFFEE

Prepared By: Jennifer Melinski
 Date: 02/17/2021
 Customer Signature:

PIF: 443603-1

Caribou COFFEE

Page 3 of 20

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Sign Schedule

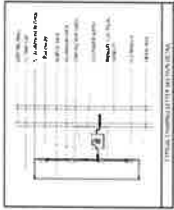


FRONT ELEVATION

VINYL COLORS:

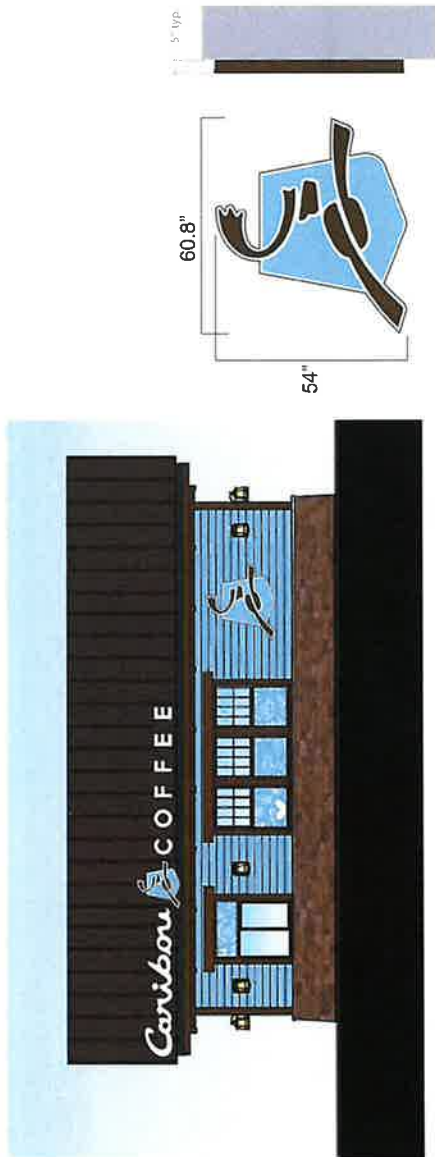
3M 3630-7297 Custom Blue

3M 3630-69 Duranodic "brown"



Everbrite		DISCLAIMER: Renderings are for graphic purposes only and are not intended for actual construction dimensions. For detailed requirements, actual dimensions and mounting details, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of or duplication in any manner without express written permission of Everbrite LLC is prohibited.	
Customer: Caribou Coffee	Description: 16" Channel Letter Set		
Project No: 438979	Scale: NTS	Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.	
Date: 11/5/20	Drawn By: DB	<input type="checkbox"/> Sketch OK as is	
Location & Site No: Isnati, MN CC0065ADR	Revised:	<input type="checkbox"/> New sketch required	
SIGNATURE		DATE	

Sign Schedule



SIDE ELEVATION

34.1'

120.7'

118.5'

14.3'

283.4"

38.3"

54"

60.8"

5" typ

VINYL COLORS:

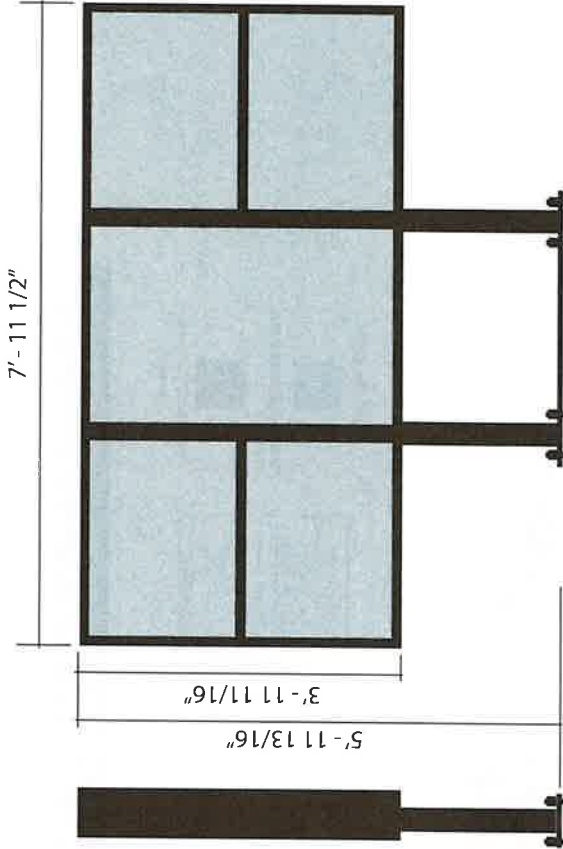
3M 3630-7297 Custom Blue

3M 3630-69 Duranodic "brown"

Everbrite		DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For proposed requirements, actual dimensions and material data, please refer to engineering specifications and retail drawings. These drawings and designs are the exclusive property of Everbrite, LLC. Use of, or duplication in any manner without express written permission of Everbrite, LLC is prohibited.	
Customer: Caribou Coffee	Project No: 432669-2	Scale: NTS	Drawn By: DB
Date: 7/14/20	Location & Site No: Coon Rapids, MN CCCC00NRAPIDSMN	Revised:	Revised:
Description: 22" Channel Letter Set, 54" Shield		SIGNATURE	DATE
Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics on file will be used unless otherwise specified by customer.		<input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New sketch required	
Please read carefully, check appropriate box and fax back to Everbrite:			

CARIBOU COFFEE MENUBOARD:

- 4' h (Nominal) x 8'w (Nominal) Illuminated menuboard.
- OAH: 6'
- Shroud height: 1' 5-1/2"h.
- Double Pole
- Anchor bolt foundation.
- 5 panels
- LED Illumination 138 Lumens Sq Ft, Color Temp 5000k
- Aluminum cabinet
- Painted Duranodic Brown
- Divider bars painted Duranodic Brown
- Inserts provided by others.
- Slotted base plate.
- All Menuboards to have internal disconnect switch



**Everbrite**

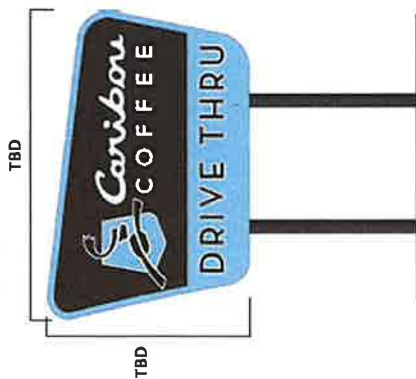
DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and initial drawings. These drawings and designs are the exclusive property of Everbrite LLC Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Customer: Caribou Coffee

Description: Menu Board

Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics

SIDE 1



- Double faced cabinet.
- Faces to be flat poly.
- Decoration to be vinyl with the standard Caribou spec.
- Cabinet to be LED illuminated.
- Cabinet depth TBD.

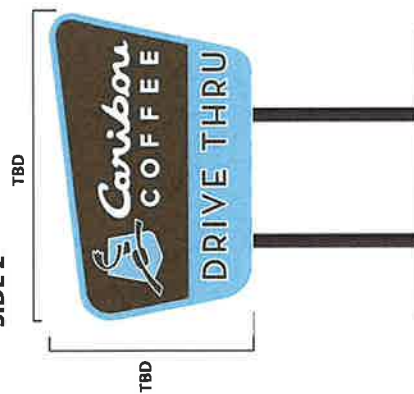
VINYL COLORS:



3MVT 17935 Blue

3M 3630-69 Duranodic
"brown"

SIDE 2



Customer: Caribou Coffee

Description: Pylon

DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics



Everbrite

Everbrite, LLC 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No: 0065R

Address: HIGHWAY 65 AND MAIN ST. ISNATI, MN 55040

Description: CARIBOU COFFEE

Prepared By: Jennifer Melinski

Date: 02/17/2021

PIF: 443603-1

Customer Signature:



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: February 23, 2021
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Caribou Cabin Isanti - Plan Set - Engineering Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Site Plan entitled "Caribou Cabin Isanti" received on February 22, 2021 with an "Issued for Review-Not for Construction" note and a revision date of 2/18/2021.

The project includes the construction of a new Caribou Cabin building and parking lot. The site plan includes 14 single car parking stalls (including 2 handicap stalls), a storm water collection system, sanitary sewer and water service extensions, a drive through with bypass lane, landscaping, and site grading.

We have reviewed the submitted documents and have the following comments:

General Comments:

1. Issue final plans that have a signature date.
2. Create removal plan depicting the following along with all other removal items needed:
 - a. Show how many trees will be removed
 - b. Remove the existing concrete driveway apron and curb cut onto Main Street. Replace curb with full B618 through old entrance.
 - c. Remove sidewalk as needed along 5th Avenue.
 - d. Remove existing curb & gutter & replace with valley gutter or full B618 as needed.

Site Plan Sheet:

1. Show patching the existing sidewalk at the storm sewer crossing and at the proposed 5th Avenue Driveway with ramps as needed for grade.
2. Extend new 5' wide sidewalk along Main Street from 5th Avenue Ped Ramp to Main Street driveway access.
3. Concrete valley gutters will be needed at both proposed entrances.
4. Depict where gutter out curb will be used.
5. See attached record drawing for pavement section in the street for patching. Show proposed pavement section in parking lot and on street patch.
6. Show B618 C&G required along city streets.
7. Monument sign placement is shown in MnDOT Right-of-Way. Written approval from MnDOT will need to be submitted to the City prior to approval of site plan and sign location.



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

8. Label stop signs on plan.

Grading Plan Sheet:

1. 5th Avenue entrance cannot exceed 1.5% across sidewalk walkway. Show sidewalk ramps as needed to tie into entrance and joint concrete to delineate walkway.
2. Does the storm sewer pipe cross too close to the proposed light pole between STRM 105 & STRM 102?

Utility Plan Sheet:

1. See attached marked up record drawing for location of existing water service stub and alternate hydrant relocation. Remove street patch area from plans.

Landscaping Plan:

1. Verify all disturbed surfaces will receive landscaping or 4-inches of topsoil and sod. Seeding is not allowed. The General Notes include both seeding and sodding notes.
2. Submit irrigation plan.

We recommend approval of the plans once the above comments are addressed.

RECORD PLAN
ARCON CONSTRUCTION CO. INC
P.O. BOX 129
1000 1st Avenue
Isant, MN 55447
855-878-4474
DATE: MARCH 2007

MINIMUM SECTION DETAIL A

These Record Plans have been prepared, in part, based on information compiled and furnished by others. The Engineer has not verified the accuracy and/or completeness of the information obtained and will not be responsible for any errors or omissions. (Minnesota Statute 320.03, Subpart 1, Section 10.01)

TYPICAL SECTION
NO SCALE
DANISH AVENUE STA 3+30 TO 6+08

TYPICAL SECTION
NO SCALE
DANISH AVENUE STA 6+08 TO 7+28

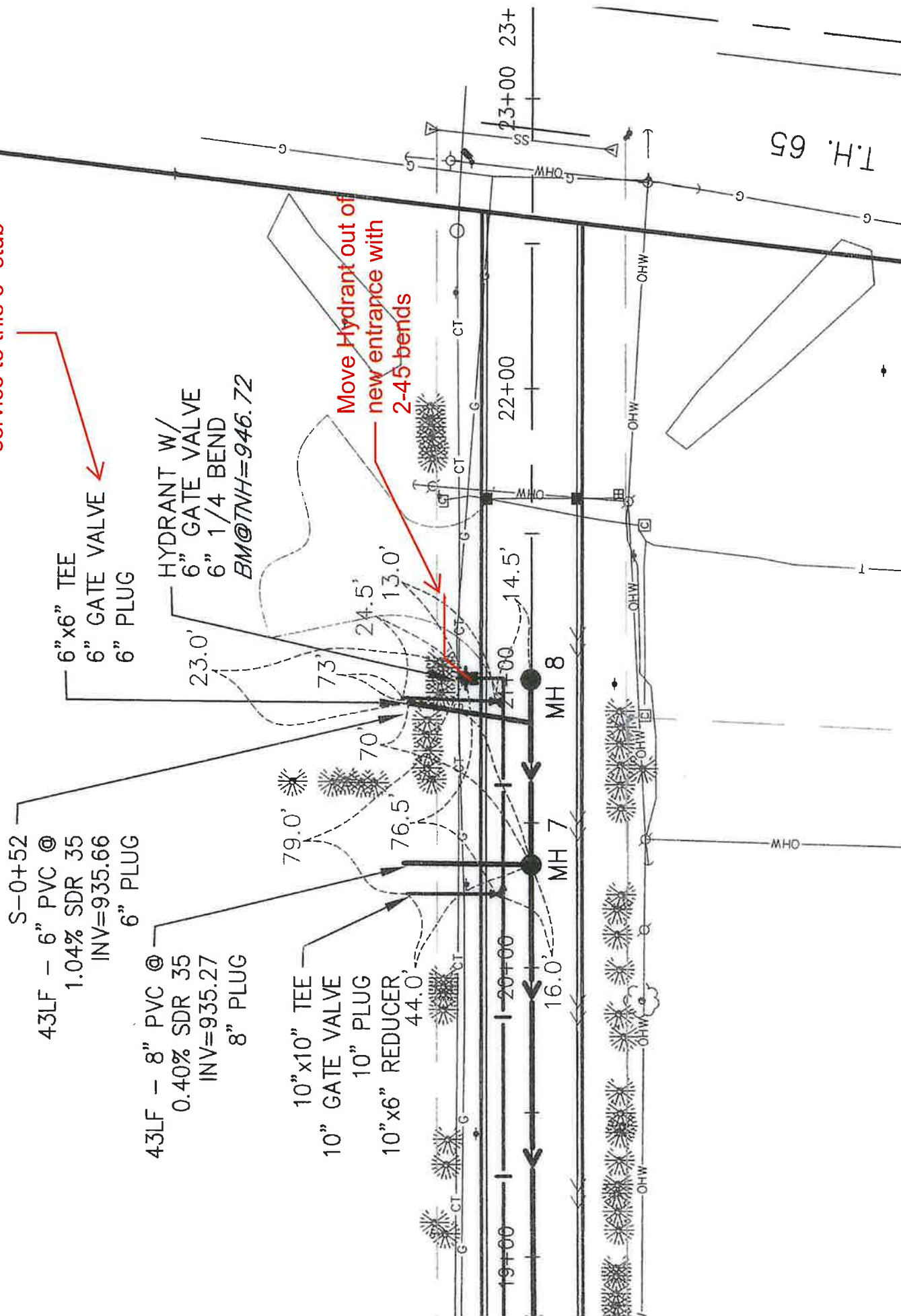
TYPICAL SECTION
NO SCALE
DANISH AVENUE STA 7+28 TO 12+50

TYPICAL SECTION
NO SCALE
MAIN STREET EAST STA 4+45 TO 12+60
CROSSING SEQUENTIAL FROM 10+25 TO 12+60

TYPICAL SECTION
NO SCALE
MAIN STREET EAST STA 12+60 TO 2+80

TYPICAL SECTION
NO SCALE
DANISH AVENUE STA 6+08 TO 2+80

Connect water service to this 6" stub



February 23, 2021

City of Isanti

RE: Caribou Coffee Plan Review



Isanti Fire has reviewed the proposed Caribou Cabin on 5th Avenue NE in the City of Isanti, for Coffee Holdings, LLC. Listed below are noted concerns regarding fire safety, as well as applicable language from the 2015 MN State Fire Code.

- 1) Fire access (road) to south, and east facing building sides. To allow fire apparatus access to building and customer vehicles in the drive through, please ensure the access road maintains a minimum width of 20 feet and a minimum radius of 28 feet.

503.1.1 Buildings and facilities.

Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

503.2.1 Dimensions.

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for *approved* security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

503.2.4 Turning radius.

The required turning radius of a fire apparatus access road shall be determined by the fire code official.

Sincerely,

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: March 16, 2021

SUBJECT: Request by Paradise Homes for a Variance under City Ordinance 445, Section 21, Article 2, said request is to construct a four-season porch within the 30-foot rear setback requirement of Legacy Pines Second Addition PUD, located at 511 Blue Bird Ct, PID 16.155.0080.

Request: Paradise Homes is requesting a 4.68-foot variance to the 30-foot rear yard setback for construction of a 4-season porch.

Overview/Background: The subject site is vacant and legally described as Lot 8, Block 1, Legacy Pines 2nd Addition. This is a new residential development that is finishing building out the 2nd addition and the 3rd Addition is starting construction. The subject site has a rear yard setback of 30 feet and the applicant is requesting a variance to encroach on the required setback.

As stated previously the subject site is a vacant residential lot. The buyers of the lot are in the design phase and would like to build a 196 square foot 4-season porch with full basement on the back of the house. According to the applicant the building in the front is only 54 feet (to meet setbacks) so the home was designed to be narrow and long, which causes the setback encroachment. According to the applicant this is the best location for the porch as it is advantageous for energy savings, safety and mechanical issues.

In review of the standards established within Section 21 Administration and Enforcement, Article 5 Variances, Subdivision 4 Procedures (D), the following conclusions have been made (*conclusions to each requirement are shown in italics*):

An application for a variance shall not be approved unless the variance, if permitted, is in harmony with the general purposes and intent of the ordinance and is consistent with the Comprehensive Plan and findings are made that failure to grant the variance would result in practical difficulties on the applicant. Practical difficulties used in connection with the granting of a variance, means that the property owner meets all of the following criteria:

- A. The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance. *A single-family dwelling is permitted by the zoning ordinance however the setback proposed does not. A single-family home is a reasonable use of the land and meeting the setback can be achieved if they reduce the side of the porch or reconfigure somehow.*
- B. The plight of the landowner is due to circumstances unique to the property and has not been caused by the landowner. *This property is not unique and the circumstances are directly caused by the owners.*
- C. A variance, if granted, will not alter the essential character of the locality. *Granting a variance for a rear yard setback does not alter the essential character of the locality.*
- D. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems. *Not applicable.*
- E. Economic considerations alone do not constitute practical difficulties. *Economic considerations do not play a role in this situation*

Staff Recommendation:

The five criteria for granting a variance are listed above not all criteria are met. Staff has reservations about recommending approval of this variance. The site is vacant and the house can be designed to meet the setbacks that are required. If the house was existing the variance could be argued since there wouldn't be room for a 4-season porch with the proposed house design, but that is not the case there is no house built yet. Not all of practical difficulties are met, therefore staff recommends denial.

If the Planning Commission recommends approval, they will need to list why they are approving so that it can be reflected in the findings of fact for the Council to adopt.

Attachments:

- Applicant's narrative
- Site Plan

Narrative for Lot Variance request

Paradise Homes Inc is requesting a Variance for a new home to be buildt on Lot 8 Block 1 Legacy Pines Second Addition.

This is a full bsmt walkout culdesac lot with the backyard facing S ,S-W.Adjoining the Backyard is Outlot D.

Outlot D slopes gently S, S-W to a Pond and Homes on Whiskey Rd. N.W.These homes back up to the west side of the pond.These Homes are about 300-400 feet away from Lot 8's backyard.

The Buyers would like to build a 4 season Porch on the rear of home with full bsmt,not posts, for not only added warmth and structural benefit but also to capture the S,S-W rolling pond view.

Because the building envelope in frt of lot is only 54 feet,the home was designed narrow but long about 75+ feet. The rear of the Home therefore encroaches the rear property by 4.68 feet causing our hardship.

The Home is designed w/garage on the right or the Northwest corner of lot.This acts as a buffer to Home from from winters bitter N.W. winds.The Home has 2 smaller windows on the North side of Home to be more energy efficient which is all important to the Senior aged buyers.

Also important are the new Homes Sewer and Water service locations on the south side of lot.Thus the rough ins come straight into the Homes mechanical Room when tying in Utilities.Also important is not having to trench in 8 ft deep thru driveway location causing future settling issues.

Also important to the buyers,in the winter,is the Sun's radiation in helping to melt off the front stoop,walkway and driveway to help reduce ice and prevent unwanted slips and falls.

Important also is the lots natural water drainage flow.Walkout lots have about 8 ft of fall front to back.With the porch on the back of home theres no restriction of water drainage and danger of water intrusion into the Bsmt. Nobody wants water intrusion Especially with a finished Bsmt.

In summary we would like to build the home with the porch on the Back of Home.This will eliminate any elevation and water drainage Hardships.Its also advantageous for Energy Savings,Saftey and Mechanical issues and settling in building areas.We also feel the proposed home will blend in astetically with surrounding homes in the neighborhood and bring added value.The buyers and Paradise Homes Inc. thank you for your consideration.

10

